

DOCUMENT 1

CITY OF WINDHOEK

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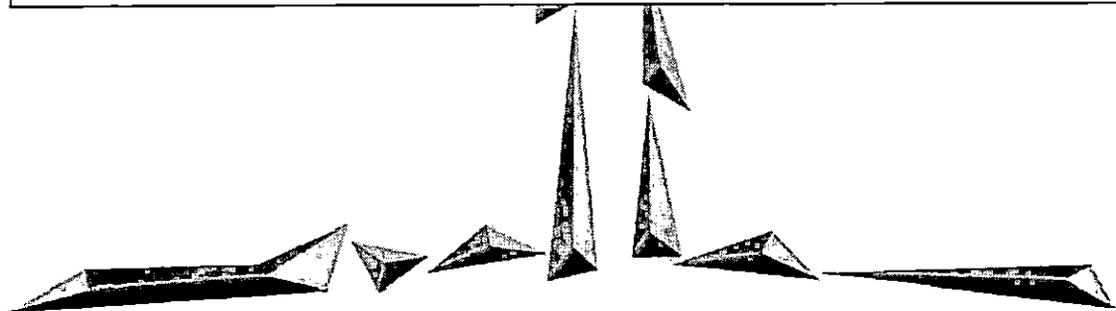


NOTICE is hereby given of the monthly meeting of the

MUNICIPAL COUNCIL OF WINDHOEK

scheduled to be held on **Thursday, 29 January 2026 at 17:30**, rescheduled to be held on **Thursday, 5 February 2026 at 17:30**, in the new Council Chambers, Windhoek.

.....
CHIEF EXECUTIVE OFFICER



ENQUIRIES: Ms M Garises

REF: 2026-02-05(01-29).ca

TELEPHONE: 2902557

DATE: 2026-02-02

INDEX

		PAGE
1	OPENING BY PRAYER	
2	OFFICIAL ANNOUNCEMENTS, STATEMENTS AND COMMUNICATIONS BY THE MAYOR - COUNCIL MEMBER SAKARIAS UUNONA	
3	CONFIRMATION OF MINUTES	
4	DECLARATION OF INTEREST	
5	APPLICATIONS FOR LEAVE OF ABSENCE	
6	PETITIONS	
7	MOTIONS	
8	ANSWERS TO QUESTIONS OF WHICH NOTICE HAS BEEN GIVEN	
9	MINUTES OF MANAGEMENT COMMITTEE	
9.1	APPROVAL OF MINUTES MC 02/2026	
9.2	MINUTES (MC 02/2026)	
9.2.1	GOV.1 [CEO] APPLICATION TO RENAME RAND STREET IN KHOMASDAL IN HONOUR OF AMBASSADOR JOSHUA //HOËBEB	3
9.2.2	GOV.2 [ELE] SUBMISSION – ROOF ASSESSMENT FOR SOLAR PV INSTALLATION TO REDUCE ENERGY COST	6
9.2.3	GOV.4 [CEO] APPROVAL FOR THE MEMORANDUM OF UNDERSTANDING (MoU) BETWEEN THE MUNICIPAL COUNCIL OF WINDHOEK AND THE NAMIBIA INVESTMENT PROMOTION AND DEVELOPMENT BOARD (NIPDB)	10
9.2.4	GOV.16 [CEO] APPROVAL FOR THE MEMORANDUM OF UNDERSTANDING (MoU) BETWEEN THE MUNICIPAL COUNCIL OF WINDHOEK AND THE WORLD WILDLIFE FUND (WWF)	17
9.2.5	GOV.21 [HCC] STAFF MATTER	21
9.2.6	GOV.22 [HCC] STAFF MATTER	21
9.2.7	GOV.23 [HCC] STAFF MATTER	22

9.2.8	GOV.24 [HCC] STAFF MATTER	22
9.2.9	GOV.25 [HCC] STAFF MATTER	23
9.2.10	FNS.1 [UTP] APPLICATION FOR THE BUILDING LINE RELAXATION ON ERF 556, HOCHLAND PARK	23
9.2.11	FNS.2 [UTP] APPLICATION FOR CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, WINDHOEK	26

[Municipal Council Agenda: 2026-02-05(0129)]

1 **OPENING BY PRAYER**
(3/2/1)

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[Municipal Council Agenda: 2026-02-05(0129)]

2 **OFFICIAL ANNOUNCEMENTS, STATEMENTS
AND COMMUNICATIONS BY THE MAYOR -
COUNCIL MEMBER SAKARIAS UUNONA**
(3/1/6/8)

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[Municipal Council Agenda: 2026-02-05(0129)]

3 **CONFIRMATION OF MINUTES**
(3/2/1)

The minutes of the meeting of the Municipal Council of Windhoek to Nominate, Elect and Inaugurate the Office Bearers for the 2025/2026 Term of Office held on 05 December 2025 are submitted for confirmation.

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[Municipal Council Agenda: 2026-02-05(0129)]

4 **DECLARATION OF INTEREST**
(3/1/5/1)

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[Municipal Council Agenda: 2026-02-05(0129)]

5 **APPLICATIONS FOR LEAVE OF ABSENCE**
(3/1/5/1)

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[Municipal Council Agenda: 2026-02-05(0129)]

6 **PETITIONS**
(3/2/1)

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[Municipal Council Agenda: 2026-02-05(0129)]

7 **MOTIONS**
(3/2/1)

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[Municipal Council Agenda: 2026-02-05(0129)]

8 **ANSWERS TO QUESTIONS OF WHICH
NOTICE HAS BEEN GIVEN**
(3/1/6/3) (16/15/1)

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9 **MINUTES OF MANAGEMENT COMMITTEE**

[Municipal Council Agenda: 2026-02-05(0129)]

9.1 **APPROVAL OF MINUTES MC 02/2026**

The minutes of the Management Committee meeting (MC 02/2026) held on 27(20) January 2026 is submitted to Management Committee members for approval.

[Municipal Council Agenda: 2026-02-05(0129)]

9.2 **MINUTES (MC 02/2026)**

The minutes of the Management Committee meeting (MC 02/2026) held on 27(20) January 2026 as approved by its members at this Council meeting is submitted for notice with the exception of Items GOV.1, GOV.2, GOV.4, GOV.16, GOV.21, GOV.22, GOV.23, GOV.24, GOV.25, FNS.1 and FNS.2, which follow immediately hereunder for consideration.

It is

RECOMMENDED

That the minutest of the Management Committee meeting (MC 02/2026) held on 27(20) January 2026, be noted by its members, with the exception of Items GOV.1, GOV.2, GOV.4, GOV.16, GOV.21, GOV.22, GOV.23, GOV.24, GOV.25, FNS.1 and FNS.2.

[Municipal Council Agenda: 2026-02-05(0129)]

9.2.1 GOV.1 [CEO] APPLICATION TO RENAME RAND STREET IN KHOMASDAL IN HONOUR OF AMBASSADOR JOSHUA //HOËBEB (18/1/2/1)

A submission by the Heritage Committee, an advisory committee of the Windhoek Municipal Council established in terms of section 30(1)(w) and Council Resolution 59/03/2021

Introduction

*** An application dated 12 August 2025, **attached as pages 1 – 10 to the agenda**, to rename a street in honour of Ambassador Joshua //Hoëbeb was received through the Office of the Chief Executive Officer. The proposal has been considered by the Heritage Committee and is hereby presented to the Municipal Council of Windhoek for further deliberation and decision.

The application seeks to commemorate the life and contributions of Ambassador Joshua //Hoëbeb, a teacher, politician, community activist, and diplomat who resided in Windhoek throughout his lifetime. His leadership was characterised by unwavering dedication, distinction, integrity, and patriotism, complemented by a deep commitment to public service and diplomacy.

*** An extract from the abridged biography provided by the proponent is **attached as pages 11 – 28 to the agenda**, form part of the background to this submission and is detailed in the subsequent section of the report.

Background of the proposal

The abridged biography reflects that, even at the remarkable age of ninety (90), Ambassador Joshua //Hoëbeb remained one of the most compelling embodiments of the principles and values of the anti-apartheid liberation movement. His distinguished life of service saw him contribute to the nation of Namibia in a range of critical roles, including those of Community Activist, Educator, Diplomat, and Regional Governor. Both before and after Independence, he was deeply immersed in political life, community mobilisation, socio-economic development initiatives, environmental conservation efforts, and diplomatic missions within Namibia and abroad.

Affectionately known as Meester, Ambassador //Hoëbeb was born on 14 August 1935 at Rooikraal in Omaheke Region. He began his schooling in the Old Location before progressing to the Augustinium Teacher Training and Vocational College in Okahandja. As a politically conscious young man and active community organiser, he endured imprisonment, harassment, and various forms of intimidation under the apartheid regime. His activism led to multiple detentions across different towns as a result of his resistance to oppression. Together with many others, he played a key role in rallies, mobilisation, and political education efforts, particularly in Katutura.

During his tenure as an Educator in the Erongo Region, notably at Martin Luther High School in Okombahe, he helped shape and mentor many young Namibians, equipping them with the values, discipline, and knowledge needed to contribute

to an independent Namibia. Many of his former learners went on to become influential leaders and captains of industry, playing pivotal roles in steering Namibia's post-independence development trajectory.

With the dawn of independence, Ambassador //Hoëbeb was appointed as Namibia's first High Commissioner to South Africa. He served the nation with distinction, integrity, and dedication. During his tenure, he played a key role in the historic negotiations that led to the reintegration of Walvis Bay into Namibia's sovereignty in 1994. He later served as High Commissioner to Botswana, where he helped maintain strong bilateral relations despite the challenges following the International Court of Justice ruling in the Kasikili/Sedudu Island dispute. In both diplomatic postings, he upheld the principles set out in Article 96 of the Namibian Constitution, promoting peaceful relations, mutual respect, and cooperation with neighbouring states.

Ambassador //Hoëbeb firmly believed in a life dedicated to public service. During the 5th Administration, under the leadership of former President Hifikepunye Pohamba, he was appointed as Governor of the Kunene Region. In this role, he was a unifying figure, working to align regional stakeholders around common developmental priorities. He was also a strong voice against gender-based violence and a champion for environmental stewardship, particularly in relation to wildlife conservation.

Politically, Ambassador //Hoëbeb held several senior positions within the SWAPO Party, including membership of both the Central Committee and the Politburo. Notably, he served as the first Chief Whip of SWAPO in the Constituent Assembly in 1990, where he contributed significantly to shaping early parliamentary processes and promoting democratic participation. His leadership reflected a steadfast commitment to building a non-racial, democratic society grounded in social justice and equality.

Ambassador Joshua //Hoëbeb stands as a seminal figure within Namibia's liberation history. He represents a generation of leaders who unequivocally opposed apartheid. His legacy continues to influence Namibia's political and leadership landscape, and he remains a source of enduring inspiration to many Namibians.

Proposed street to be considered

The applicant proposes that Rand Street be renamed in honour of Ambassador Joshua //Hoëbeb. Rand Street is a distributor road ± 2.066 kilometres in length and strategically traverses sections of both Khomasdal and Katutura. Its location makes it an appropriate and meaningful choice, as the street connects two suburbs historically shaped by apartheid-era spatial segregation. Renaming this corridor would therefore carry strong symbolic significance, reflecting Ambassador //Hoëbeb's lifelong commitment to justice, equality, and the dismantling of racially defined urban divisions.

Motivation

Recalling the legacy, commitment, and sacrifice of this distinguished individual reminds us of the fundamental human values championed by his generation, values of tolerance, dignity, and the unwavering pursuit of justice despite adversity. The proposal to rename the identified street in honour of Ambassador

Joshua //Hoëbeb has garnered strong support from the majority of immediate street users, nearby institutions, and prominent members of society. Letters of support from a wide range of individuals and organisations, including media personalities, former Members of Parliament and members of the Diplomatic Corps, the SWAPO Party of Namibia, the Evangelical Lutheran Church in the Republic of Namibia, as well as ordinary citizens are **attached as pages 29 - 41 to the agenda.**

Despite his extensive and impactful contributions to Namibia's liberation, governance, diplomacy, and national development, there is currently no formal or dedicated public commemoration recognising his influence or service. In an evolving political landscape, it remains important to honour and preserve the legacies of leaders such as Ambassador //Hoëbeb, whose actions and principles continue to offer valuable lessons for present and future generations.

It should further be noted that the applicant has fully complied with all public participation requirements prescribed in the Street and Place Naming and Renaming Policy. The majority of immediate street users indicated their support for the proposed renaming. Four (4) residential households did not provide comments during the consultation period, while two (2) business entities, including a convenience/home shop declined to comment, citing concerns related to potential address changes and the associated financial implications.

A detailed list of consenting signatories is **attached as pages 42 – 45 to the agenda**, together with a self-explanatory note indicating properties where signatures or expressions of support could not be secured. All affected residents and businesses were advised of their right to submit objections in writing before the finalisation of this submission for consideration by the Municipal Advisory Committee on Heritage. No formal written objections had been received from any potentially affected or immediate street users for further evaluation.

Management Committee

RECOMMENDED

- 1 That the application to rename Rand Street in Khomasdal Township in honour of Ambassador Joshua //Hoëbeb, be noted and supported.
 - 2 That Rand Street in Khomasdal be renamed to Amb. Joshua //Hoëbeb Street (with Street to be abbreviated as 'Str.').
 - 3 That the Chief Executive Officer (Manager: Mayoral and Council Affairs) inform the applicant about the decision taken and make the necessary arrangements in the event of a street naming ceremony.
 - 4 That the resolution be implemented prior to confirmation of the minutes.
-

[Municipal Council Agenda: 2026-02-05(0129)]

**9.2.2 GOV.2 [ELE] SUBMISSION – ROOF ASSESSMENT
FOR SOLAR PV INSTALLATION TO
REDUCE ENERGY COST
(15/3/1/2)**

Introduction and purpose

The purpose of this submission is to inform council on the findings of the recently concluded consultancy services of the Project Titled: *SC/RP/COW-03/2024 - SELECTION OF CONSULTANT FOR PROCUREMENT OF ROOF ASSESSMENT SERVICES FOR POSSIBLE SOLAR PV INSTALLATIONS*, attached as pages 46 – 89 to the agenda.

Following Council's approved Policy of Renewable Energy, the Municipal Council of Windhoek is in a planning phase to rollout Solar PV (Photovoltaic) installations on all the Municipal Council of Windhoek owned buildings as part of energy saving strategy as well as to contribute to the global fight of carbon footprint reduction and emission to mitigate climate change.

The assessments' major objective was to advise the Municipal Council of Windhoek if the roof structures, if the current state, is fit for Solar PV installation, and highlight any roof re-strengthening needs, associated risks and factors to be considered before embarking on the procurement process of solar PV Systems installation.

Background and discussion

The Roof Assessment Project was recently concluded after three (3) months of contract duration that involved technical and financial viability investigation by the appointed Consultant, GS Fainsinger and Associates.

The following pilot buildings owned by the Municipal Council of Windhoek formed part of the study:

- Department of Electricity building;
- Ramatex; and
- The Municipal Council of Windhoek Head Office (including the shaded parking).

The project objective was to perform an assessment with the end goal of **optimising and maximising** the Solar PV installations on each council building depending on the available roof space. The key tasks performed by the Consultant and recommendations are as follows:

Key task:

- Roof structure assessment to determine the available space/area for Solar PV installation and if there are any structural change needed due to the Solar PV weight.

- Solar PV sizing or capacity estimates based on the available roof area (including Solar PV assessment).
- Glint/glare study due to the total area occupied by the Solar PV Plant.
- Feasibility and payback model (this is to include the estimated cost of each Solar PV Plant for each site).
- Modalities of implementation of the Solar PV installation.
- Highlight any associated risks and factors to consider before implementation.

Findings (Structural assessment and Solar PV sizing):

- The Department of Electricity's compliant roof space (without any need for roof upgrade) can host 84kW Three Phase Solar PV System (which is enough power to relief its entire power drawn from the grid). With a re-strengthened roof, it may host up to 184kW once the necessary upgrades are done on the roofing and electrical infrastructure (i.e., cables, busbars, protection). The traffic lights section (which is part of Department of Electricity but with its own single-phase meter) can host a total capacity of 17.6kW single phase.
- The Head Office compliant roof space (without any need for roof upgrade) is capable of hosting a 282.4kW Three Phase Solar PV System (which is sufficient power to relief half of its entire power drawn from the grid). With a re-strengthened roof, it may host up to 720.4kW once the necessary upgrades are done on the roofing and electrical infrastructure (i.e., cables, busbars, protection).
- The Ramatex Rhino Garment Factory (Bus terminal) has no compliant roof structures as the current installed roof structural integrity will not be able to support the weight of the Solar PV due to the material used and its aging state. Once the necessary roof upgrades are done it can host up to 1 799MW of Three Phase Solar PV System.

Findings (Feasibility and payback model):

- Department of Electricity: Implementing a 180kW PV System which includes the upgrade of the carports structure requires an investment of N\$3 660 000.00 (PV System costs: N\$2 700 000.00 and carport structure upgrade: N\$960 000.00) which yields an Internal Rate of Return (IRR) of 26 % and breakeven within 4.53 years. On full implementation, Council will save up to N\$807 840.00 per annum on energy and demand costs.
- Head Office: Implementing a 500kW PV system (limited to the net metering rules) which includes the upgrade of the carports structure requires an investment of N\$12 700 000.00 (PV system costs: N\$7 500 000.00 and carport structure upgrade: N\$5 200 000.00) which yields an Internal Rate of Return (IRR) of 21 % and breakeven within 4.53 years. On full implementation, Council will save up to N\$2 176 800.00 per annum on energy and demand costs.

- Ramatex Rhino Garment Factory: The roof was not designed and manufactured in Namibia and no project documentation or drawings could be established for detailed design checks. The roof sheet installation with the purlins is also not according to the good practice installation warranting an erection of a new structure suitable for solar panels. The roof upgrade costs amount to N\$88 200 000.00 for a total Energy output of 1 799MW. The huge investments make it hard for the project to be financially viable and was therefore not considered.

It should however be noted that the current budgeted capital amount for the 2025/2026 Financial Year by the Department of Electricity is N\$2 300 000.00 and this will be used for the implementation rollout of the Phase 1 buildings of the Department of Electricity and Head Office.

Benefits to be gained

It is evident from the Consultant's assessment that the Municipal Council of Windhoek will benefit heavily in reducing reliance of bulk power from the national utility (NamPower) by sourcing electricity from Solar PV installation which is an alternative clean energy. With the Solar PV installations, council will be able to power almost its entire energy needs from solar, with very little energy being drawn from the grid during cloudy days.

Council will benefit from carbon credits because of their efforts to increase its energy mix by adding more megawatts of power to the distribution network. Council's sustainability as part of the vision '*to be sustainable and caring city by 2027*' will be greatly realised through this action that links directly to reduced energy costs. Moreover, Council will set an example to other Organisations to embark on greener energy transformation and encourage participation into the Modified Single Buyer (MSB) market.

Plan of action

It is imperative for Council to take note of the implementation of the Solar PV installations as per the design capacities suggested or up to the capacity of the main supply circuit breaker of each main supply. However, the work to be prioritised for installation will be the compliant roof without the need of roof upgrades for Municipal Council of Windhoek to realise the savings that can be used as capital invest to upgrade the roofs for more solar installations.

The carports upgrades, and electrical infrastructure upgrades will be done in phases after the compliant roof installations are completed. Below is the action plan in order of execution priority.

- Install Solar PV on the compliant roof space (without any need for roof upgrade) for Department of Electricity building and Head Office as pilot Projects.
- Install Solar PV on the compliant roof space (without any need for roof upgrade) for other municipal office buildings in phases.
- Upgrade infrastructure and install carports for Solar PV installations at Department of Electricity.

- Upgrade infrastructure and install carports for Solar PV installations at Head Office.
- Upgrade infrastructure and install Solar PV Systems at all other municipal offices in succession.

Management Committee

RECOMMENDED

- 1 That the Roof Assessment Studies, be noted.
- 2 That the procurement of services for the supply and installation of Solar PV as recommended on the pilot buildings of the Head Office and Department of Electricity, using the approved budget of N\$2 300 000.00 for the 2025/2026 Financial Year, be noted.
- 3 That it be noted that upon the successful completion of the abovementioned pilot on municipal buildings, , the additional municipal buildings be added as further pilot project roll-out.
- 4 That the rollout (in phases) of the Organisation wide Solar PV Installation Project on all council buildings by the Department of Electricity, be noted pending Annual Capital Budget approval.
- 5 That the Chief Executive Officer (Manager: Corporate Communication, Marketing and Public Participation) through an internal Memorandum, inform all the internal stakeholders (Council Members, Management and the workforce) about this initiative and they be sensitised of this operational activity.

Financial implications

The estimated cost implications to be incurred for the Projects (including infrastructure upgrade) for all Council buildings will be budgeted under the CAPEX.

The total Solar PV installations for the Department of Electricity and Head Office on the compliant roof space (without any need for roof upgrade) is N\$2 300 000.00 and this will be the first pilot projects.

Funds required (N\$)	Funds available (N\$)	Item
2 300 000.00	3 000 000.00	1510/05/3/10/8054

[Municipal Council Agenda: 2026-02-05(0129)]

9.2.3

**GOV.4 [CEO] APPROVAL FOR THE
MEMORANDUM OF UNDERSTANDING (MoU)
BETWEEN THE MUNICIPAL COUNCIL OF
WINDHOEK AND THE NAMIBIA INVESTMENT
PROMOTION AND DEVELOPMENT
BOARD (NIPDB)
(10/1)**

Introduction

The Strategic Executives Forum at its meeting held on 9 October 2025 *inter alia* resolved as follows and in accordance with the resolution **attached as page 90 to the agenda**, it was:

- 1 *Recommended on condition that the CEO (Corporate Legal Adviser) address the following, prior to placement on the MC Agenda, for consideration:*
 - *Insert a transitional clause on the duration of the Memorandum of Understanding (MoU) to cover any eventualities when the contract is terminated naturally.*

Purpose

The purpose of this submission is to seek Council approval to enter into a Memorandum of Understanding (MoU) between the Municipal Council of Windhoek and the Namibia Investment Promotion and Development Board (NIPDB), as referenced in the letter **attached as pages 91 – 92 to the agenda**.

Background

Windhoek's attractiveness as an investment destination, depends largely on understanding its competitive position. The City's strengths include its strategic geographic location, robust infrastructure network, established financial sector, status as the seat of Government and host to various multinational corporations, political stability, and unique small-town charm. However, constraints such as its relatively small market size and the need to reskill an unskilled workforce remain notable weaknesses.

The World Bank's Ease of Doing Business Index, introduced in 2002, assesses economies based on the conduciveness of their regulatory environments. Namibia recorded weak performance between 2016 and 2019, which prompted Government to establish a national Ease of Doing Business Working Committee, coordinated by the Namibia Investment Promotion and Development Board (NIPDB). The Committee's mandate is to improve Namibia's business environment and strengthen its global competitiveness.

The Municipal Council of Windhoek serves on this National Committee, as several of its core functions, such as issuing construction permits, electricity connection licenses, and health and fitness certificates, directly influence the ease of doing business. Through its collaboration with the Namibia Investment

Promotion and Development Board (NIPDB), the City aims to enhance investor experiences, streamline service delivery, and contribute to national efforts to attract investment, stimulate economic growth, raise incomes, and create employment opportunities.

The Namibia Investment Promotion and Development Board (NIPDB), registered in 2020 as a section 21 non-profit association and operational since April 2021, was established to support Government in fostering an investor-friendly climate. Its mandate includes forming strategic partnerships and contributing to policy frameworks that promote private-sector-led growth.

Windhoek joined the Ease of Doing Business Working Committee in 2022 and participated in its inaugural meeting in April of that year. In October 2022, the Namibia Investment Promotion and Development Board (NIPDB) launched its physical One Stop Centre to support investors, with varying levels of participation from relevant Offices, Ministries, and Agencies. Two (2) Memoranda of Understandings remain pending.

Discussion

In accordance with the Strategic Executives Forum Resolution of 9 October 2025, the item is recommended on the condition that the Chief Executive Officer (Corporate Legal Adviser) address the following prior to its placement on the MC Agenda, for consideration:

- *Insert a transitional clause regarding the duration of the Memorandum of Understanding (MoU) to cover any eventualities should the contract terminate naturally.*

It is important to note that the Corporate Legal Adviser was consulted and has reviewed the Memorandum of Understanding (MoU). The Corporate Legal Adviser has confirmed that there is no need to insert a separate clause, as section 2 of the Memorandum of Understanding (MoU) on Commencement and Duration already covers this matter, as follows:

- *Notwithstanding the Signature Date, this MoU shall come into effect on a date agreed upon by both Parties (the "Commencement Date") and shall remain in force indefinitely unless terminated by either Party by giving at least six (6) months' prior written notice to the other Party.*

The Namibia Investment Promotion and Development Board (NIPDB) as part of its strategic plan has set-up a One Stop Centre a physical client service facility at the Namibia Investment Promotion and Development Board (NIPDB) premises for investors to facilitate the sharing of information between the State, investors and the public in order to enhance the country's global competitiveness. The Centre was established to facilitate service delivery by linking investors with relevant service providers and agencies of government.

In a letter dated 8 June 2021, Ms Nangula Uaandja, Chief Executive Officer of the Namibia Investment Promotion and Development Board (NIPDB), wrote to the Chief Executive Officer of the Municipal Council of Windhoek, expressing the desire for Municipal Council of Windhoek to avail a senior staff member to provide services to investors from the investment board premises and to hold initial discussions on a Memorandum of Understanding (MoU), **attached as pages 93 – 100 to the agenda.**

In order to enhance the overall investment facilitation process and keep improving the competitiveness of Windhoek and the country, the Memorandum of Understanding (MoU) with Municipal Council of Windhoek-as with other identified offices, ministries or agencies, aim to ensure smooth investor application electricity, building plans, business registration and fitness certification processing, etc. with the objective to enhance the investor experience and more time efficient processing by the offices, ministries or agencies. To achieve more efficiency in investment facilitation the Namibia Investment Promotion and Development Board (NIPDB) has proposed that the Municipal Council of Windhoek representative be physically stationed at the offices, ministries or agencies and that this is important since in their experience potential investors prefer direct engagement over referrals. The ideal representative should efficiently route investor inquiries and possess a strong understanding of the Municipal Council of Windhoek's internal processes. For this reason, the Namibia Investment Promotion and Development Board (NIPDB) requests a senior representative to serve as the focal point for investor-related inquiries and facilitate all services currently offered by the Municipal Council of Windhoek.

The Memorandum of Understanding (MoU) is accompanied by a draft Action Plan **attached as pages 93 – 100 and 101 respectively to the agenda**, for the implementation purposes. A joint Steering Committee is suggested to be established, comprising of the two (2) members representing each Party. This Committee will meet on a bi-annual basis to evaluate the processes and outcomes emanating from the relationship, identify obstacles and to propose remedial actions, including recommending amendments as may be deemed necessary.

Strategic implications/significance

The signing of the Memorandum of Understanding (MoU) holds significance importance for the Municipal Council of Windhoek. This initiative aligns with the Organisation's Strategic Plan for 2022-2027, and it supports the enhancement of economic development (investment and creating and sustaining a favourable economic environment) by speaking to the following strategic intents:

- Improving Organisational Capabilities:

- **Enhanced collaboration:** A Memorandum of Understanding (MoU) fosters better collaboration between the cooperation partners, aligning mutual efforts of the City and the Namibia Investment Promotion and Development Board (NIPDB) in areas identified for cooperation. This cooperation can lead to heightened efficient use of resources and improved service delivery.

- **Enhancing the Quality of Life for all Stakeholders:**

- **Economic development:** Investment promotion and Small and Medium Enterprise (SME) development is critical to fostering local economic development. By working closely with the Namibia Investment Promotion and Development Board (NIPDB), the Municipal Council of Windhoek can heighten its competitiveness, attract more investment and create jobs, driving economic growth in the City.

Consultation with Stakeholder departments and other interested parties

The following comments were received:

Comments from the Chief Executive Officer

- **Legal Services**

The submission is in order and there are no further inputs from legal services.

- **External Relations and Networking**

The Memorandum of Understanding (MoU) formalises the partnership, creating a clear framework for collaboration. This ensures that the Municipal Council of Windhoek and the Namibia Investment Promotion and Development Board (NIPDB) work together effectively to achieve shared goals, such as attracting investments and driving economic development. The partnership can strengthen efforts to attract domestic and international investment to Windhoek by leveraging Namibia Investment Promotion and Development Board's (NIPDBs) expertise and networks. This aligns with Municipal Council of Windhoek's development priorities, including economic growth and job creation. The Memorandum of Understanding (MoU) can support initiatives aimed at addressing urbanisation challenges, improving infrastructure, and promoting sustainable development in Windhoek through targeted investments.

It is important to note that on 30 July 2025, Ms Nangula Uaandja, the Chief Executive Officer of the Namibia Investment Promotion and Development Board (NIPDB), together with her Technical Team, held a meeting with Mr O'Brien A Hekandjo, with the then Acting Chief Executive Officer of the Municipal Council of Windhoek at the time and their respective technical teams to discuss the pending Memorandum of Understanding (MoU).

During the meeting, it was agreed that the Municipal Council of Windhoek and the Namibia Investment Promotion and Development Board (NIPDB) would first enter into a general Memorandum of Understanding (MoU), after which the arrangement would be formalised through a Service Level Agreement (SLA). The Service Level Agreement (SLA) will provide detailed provisions on all technical aspects, including human resources and other required resources.

Furthermore, the technical teams from both institutions will collaborate in developing the Service Level Agreement (SLA) to ensure that the partnership delivers mutual benefits.

The draft Memorandum of Understanding (MoU) outlines the shared interests of both parties and provides an overview of the proposed terms of the relationship. Its primary purpose is to establish a strategic partnership between the Namibia Investment Promotion and Development Board (NIPDB) and the Municipal Council of Windhoek through a joint, consolidated, and coordinated collaboration aimed at promoting and facilitating competitiveness and the ease of doing business in Windhoek.

Comments from the Strategic Executive: Economic Development and Community Services

- Economic Development

The department is in support of concluding a Memorandum of Understanding (MoU) between the Namibia Investment Promotion and Development Board (NIPDB) and the Municipal Council of Windhoek which will set the tone to establish and support a jointly beneficial strategic partnership that aims to promote and facilitate competitiveness and ease of doing business in the jurisdiction of Windhoek.

Comments from the Strategic Executive: Urban and Transport Planning

- Sustainable Development

The proposal to formalise the relationship through a non-specific but strategically aligned Memorandum of Understanding (MOU), is duly noted. At this stage, the Memorandum of Understanding (MoU) can serve as a high-level framework to capture the shared intent and strategic alignment between the parties.

The department will, however, provide more detailed technical and operational inputs during the Service Level Agreement (SLA) phase, where the practical modalities, roles, and measurable deliverables of the partnership can be clearly defined and agreed upon.

Comments from the Strategic Executive: Human Capital and Corporate Services

- Organisational and Human Resources Development

The Memorandum of Understanding (MoU) presents an opportunity for capacity building of Municipal Council of Windhoek's employees through skills transfer and opportunities for exposure. Additionally, the enhanced working relationship would inform Organisational development interventions aimed at improving systems of operations, resources determination and allocation as well as determine performance levels and culture required in order to ensure the achievement of the Organisational mandate as it pertains to investment promotion and development activities.

The Memorandum of Understanding (MoU) is therefore supported with a further proposal that effective data management practices are to be enforced in the collection, collation and storage of records produced in the process of collecting investor contacts, applications and services rendered, statistics, survey results and feedback in order to ensure long term trend analysis and inform decision making.

Comments from the Strategic Executive: Finance and Customer Services

- Revenue Management

In consultation with the Namibia Investment Promotion and Development Board (NIPDB) team, the department fully supports the arrangement to have a Municipal Council of Windhoek official placed at the One-Stop Shop. This initiative will significantly strengthen collaboration, improve service delivery, and enhance the City's visibility at a strategic level.

It is important to highlight that there will be no direct financial implications for the City. Furthermore, it has been proposed that, in the event the Municipal Council of Windhoek is unable to provide an official from its existing structure, the City may recommend a candidate who would be employed by the Namibia Investment Promotion and Development Board (NIPDB) at the C4 level. This person would then fall under the Finance and Customer Service function, ensuring continuity and sustainability of the arrangement.

Conclusion

The purpose of this Memorandum of Understanding (MoU) is to provide a framework of cooperation and facilitate collaboration between the Parties, in areas of common interest. By cementing a medium-term cooperation agreement between Municipal Council of Windhoek and the Namibia Investment Promotion and Development Board (NIPDB), which focuses on collaboration and investor service delivery, Municipal Council of Windhoek is demonstrating its commitment to lay a strong working foundation for cooperation with other offices, ministries and agencies and continuous improvement of the local business environment.

The proposed Memorandum of Understanding (MoU) between the Municipal Council of Windhoek and the Namibia Investment Promotion and Development Board (NIPDB) will have a positive impact on improving the ease of doing business and thus advance Windhoek's competitiveness as an investment locality. By aligning efforts, both institutions can better optimise resources, increase the effectiveness of their mandates, improve service delivery, and heighten the promotion of Windhoek as an investment and tourism destination of choice.

Management Committee

RECOMMENDED

- 1 That the updated Memorandum of Understanding (MoU) between the Municipal Council of Windhoek and the Namibia Investment Promotion and Development Board (NIPDB) **attached as pages 93 – 100 to the agenda**, be noted and approved.
 - 1.1 That it be noted that the Memorandum of Understanding (MoU) can support initiatives aimed at addressing urbanisation challenges, improving infrastructure and promoting sustainable development in Windhoek through targeted investments.
 - 1.2 That it also be noted that the Memorandum of Understanding (MoU) is supported with a further proposal that effective data management practices are to be enforced in the collection, collation and storage of records produced in the process of collecting investor contacts, applications and services rendered, statistics, survey results and feedback in order to ensure long term trend analysis and inform decision making.
 - 1.3 That should the Municipal Council of Windhoek be unable to designate a suitable official from within its existing Organisational structure, Council may recommend a candidate for appointment by the Namibian Investment Promotion and Development Board (NIPDB) at the C4 level. [This official would be positioned within the Finance and Customer Services function, thereby ensuring continuity and long-term sustainability of the arrangement.]
 - 2 That areas of cooperation as detailed in the draft Memorandum of Understanding (MoU), be approved.
 - 3 That the Chief Executive Officer (Manager: External Relations and Networking) coordinate the joint signing ceremony on the date to be mutually agreed upon by the parties.
 - 4 That for ease of coordination, the Municipal Council of the Municipal Council of Windhoek and the Namibia Investment Promotion and Development Board (NIPDB) enter into a Service Level Agreement (SLA), which will set out detailed provisions on all technical aspects, including the resources required to effectively implement the partnership.
 - 5 That the resolution be implemented prior to confirmation of the minutes.
-

[Municipal Council Agenda: 2026-02-05(0129)]

9.2.4 GOV.16 [CEO] APPROVAL FOR THE MEMORANDUM OF UNDERSTANDING (MoU) BETWEEN THE MUNICIPAL COUNCIL OF WINDHOEK AND THE WORLD WILDLIFE FUND (WWF)
(12/8/1/1)

Purpose

*** The purpose of this submission is to seek Council approval to enter into a Memorandum of Understanding (MoU) between the Municipal Council of Windhoek and the World Wildlife Fund (WWF) as per the letter and Memorandum of Understanding (MoU), **attached as pages 102 and 103 - 108 respectively to the agenda.**

Introduction

The World Wildlife Fund (WWF) approached the Municipal Council of Windhoek to enter into a Memorandum of Understanding (MoU) to formalise their collaboration in key areas of mutual interest. The partnership will focus on water resource management, park development, environmental restoration, environmental advocacy and strategic communication.

Through this Memorandum of Understanding (MoU), both parties aim to strengthen cooperation, share expertise, and promote sustainable environmental practices that contribute to the protection of natural resources and the enhancement of urban resilience within the Municipal Council of Windhoek.

Background

In 1993, the World Wildlife Fund (WWF) was invited to Namibia to implement the USAID-funded Living in a Finite Environment (LIFE) Project. Since then, the World Wildlife Fund (WWF) has worked with dedicated Namibian Conservationists and the country's new, independent government to spearhead conservation efforts that empowered the local communities that live with the wildlife to gain rights and responsibilities over their natural resources through the creation of communal conservancies.

The first communal conservancy was established in 1998. As of May 2023, there are eighty six (86) communal conservancies, and more than twenty (20) countries from around the world have studied its application. The World Wildlife Fund (WWF) continue to support Community-Based Natural Resource Management (CBNRM) and have also expanded the Organisation's reach to include providing support to large landscape conservation, species protection and socio-economic initiatives that impact Namibians from all walks of life.

Discussion

The establishment of a Memorandum of Understanding (MoU) between the Municipal Council of Windhoek and the World Wildlife Fund for Nature (WWF) is strategically important for promoting sustainable urban development, environmental protection, and improved quality of life. The City faces growing challenges such as water scarcity, waste management, and biodiversity loss, which require innovative and coordinated responses. The World Wildlife Fund (WWF) offers global expertise in sustainable resource management, climate adaptation, and ecosystem restoration, providing the City with access to best practices and technical support.

Through the Memorandum of Understanding (MoU), both parties can jointly develop and implement programmes that integrate environmental sustainability into urban governance and service delivery. The partnership aligns with the World Wildlife Funds (WWFs) human rights-based and inclusive conservation approach with the City's commitment to participatory governance and community empowerment. This collaboration will strengthen the community-based environmental initiatives, ensuring residents are active participants in conservation efforts.

Additionally, the Memorandum of Understanding (MoU) will enhance environmental education, awareness, and advocacy by utilising World Wildlife Funds (WWFs) communication platforms to promote behavioural change and shared responsibility. Overall, the partnership will help the City build resilience, achieve its sustainability goals and balance urban development with ecological preservation, fostering long-term environmental stewardship and inclusive growth.

The Parties agree to collaborate on matters related to:

- Improved management and sustainable use of water resources to ensure availability, quality, and equitable access for communities and ecosystems;
- Reduced environmental pollution and effective waste management through prevention, mitigation, and sustainable disposal practices;
- Increased environmental awareness and advocacy through education and community engagement, fostering responsible behaviors and active participation in conservation initiatives;
- Effective climate change management that enhances resilience, mitigates risks, and promotes sustainable adaptation strategies; and
- Collaborate on land and aquatic ecosystems restoration.

To ensure the effective implementation of specific projects under the broader areas of cooperation, a detailed Work Plan/Action Plan has been developed and is **attached as page 109 to the agenda**, for review. This plan outlines the key activities, responsibilities, timelines, and expected outcomes for each project, providing a clear framework to guide coordination, monitoring, and evaluation. By establishing defined actions and accountability measures, the Work

Plan/Action Plan will support structured implementation, enhance collaboration between the parties and ensure measurable progress toward the partnership's objectives.

Strategic implications/significance

The partnership ensures that environmental initiatives are implemented in a coordinated, science-based, and inclusive manner, enhancing the City's ability to achieve its sustainability goals. Moreover, by working with World Wildlife Fund (WWF), the City can foster stronger community engagement, promote environmental education, and encourage behavioral change that supports long-term ecological balance and improved quality of life for residents. The Memorandum of Understanding (MoU) will specifically address the following strategic objective:

- Improving Organisational Capabilities; and
- Enhancing the quality of life for all Stakeholders.

Consultation with stakeholder departments and other interested parties

The following comments or input were received:

Comments from the Office of the Chief Executive Officer

- Legal Services

The submission is in order and there are no further inputs from legal services.

- External Relations and Networking

This partnership will contribute to Namibia's National Commitments under the Sustainable Development Goals (SDGs) particularly Goal 6 (Clean Water and Sanitation), Goal 11 (Sustainable Cities and Communities), Goal 13 (Climate Action), and Goal 15 (Life on Land). It also aligns with international efforts to build cities that are resilient, inclusive, and environmentally sustainable. The partnership further aligns with the UN Decade on Ecosystem Restoration (2021-2030) which aims to prevent, halt, and reverse the degradation of ecosystems worldwide to combat climate change, enhance biodiversity, and improve human well-being.

Comments from the Strategic Executive: Economic Development and Community Services

- Health and Environmental Services

The submission is supported as it aligns with environmental stewardship and protection.

Comments from the Strategic Executive: Infrastructure, Water, and Technical Service

In light of the persistent droughts threatening water security and impacting the Municipal Council of Windhoek's ability to meet water supply service delivery for domestic and economic, this collaboration has potential to contribute to the City's strategic vision statement. The partnership supports the Municipal Council of Windhoek's long-standing efforts for adaptive measures towards water security and effective management of this essential resource, thereby fortifying the resilience against climate change impacts. Under the Memorandum of Understanding's three (3) specified outcomes (Outcome 1, 3, and 4), efforts are currently in progress to execute initiatives focusing on improving the natural restoration of water sources, which aims to enhance security and promote advocacy for better water stewardship.

Conclusion

The Memorandum of Understanding (MoU) between the Municipal Council of Windhoek and the World Wildlife Fund (WWF) represents a forward-looking partnership that reinforces the City's commitment to sustainable development and environmental stewardship. By combining the City's governance mandate with the World Wildlife Funds (WWFs) global expertise, the collaboration will strengthen local capacity to address pressing challenges such as water scarcity, waste management, and climate change. It will also empower communities to play an active role in conservation efforts while fostering awareness and behavioral change towards sustainability. Ultimately, this partnership lays the foundation for a greener, more resilient and inclusive Windhoek where development and environmental preservation advance hand in hand.

Management Committee

RECOMMENDED

- ***
- 1 That the Memorandum of Understanding (MoU) between the Municipal Council of Windhoek and the World Wildlife Fund (WWF) **attached as pages 102 - 108 to the agenda**, be noted and approved.
 - 2 That areas of cooperation as detailed in the draft Memorandum of Understanding (MoU), be approved.
 - 3 That the Chief Executive Officer (Manager: External Relations and Networking) coordinate the joint signing ceremony on the date to be mutually agreed upon by the parties.
- ***
- 4 That for ease of co-ordination and implementation, an Action Plan, **attached as page 109 to the agenda**, outlining specific projects and activities within the identified broader areas of co-operation, be developed.
 - 5 That a joint working group or a Project Steering Committee comprising of Technical Experts in the identified areas of co-operation be established to oversee the implementation of cooperation Projects.

6 That the proposed Action Plan, for the implementation of the Memorandum of Understanding (MoU), be noted

7 That the resolution be implemented prior to confirmation of the minutes.

[Municipal Council Agenda: 2026-02-05(0129)]

9.2.5 **GOV.21 [HCC] STAFF MATTER**
(11/3/1/2)

This matter, submitted to the Council Members under separate cover, is to be dealt with in terms of section 14(2)(a) of the Local Authorities Act, 1992 (Act 23 of 1992) (as amended) which reads as follows:

Every meeting of a local authority council shall be open to the public, except on any matter relating to -

- (i) *the appointment, promotion, conditions of employment and discipline of any particular officer or employee of a local authority council;*

unless the local authority council by a majority of at least two-thirds of its members present at the meeting in question determines such a meeting to be so open.

[Municipal Council Agenda: 2026-02-05(0129)]

9.2.6 **GOV.22 [HCC] STAFF MATTER**
(11/3/1/2)

This matter, submitted to the Council Members under separate cover, is to be dealt with in terms of section 14(2)(a) of the Local Authorities Act, 1992 (Act 23 of 1992) (as amended) which reads as follows:

Every meeting of a local authority council shall be open to the public, except on any matter relating to -

- (i) *the appointment, promotion, conditions of employment and discipline of any particular officer or employee of a local authority council;*

unless the local authority council by a majority of at least two-thirds of its members present at the meeting in question determines such a meeting to be so open.

[Municipal Council Agenda: 2026-02-05(0129)]

9.2.7 **GOV.23 [HCC] STAFF MATTER**
(11/3/1/1)

This matter, submitted to the Council Members under separate cover, is to be dealt with in terms of section 14(2)(a) of the Local Authorities Act, 1992 (Act 23 of 1992) (as amended) which reads as follows:

Every meeting of a local authority council shall be open to the public, except on any matter relating to -

- (i) *the appointment, promotion, conditions of employment and discipline of any particular officer or employee of a local authority council;*

unless the local authority council by a majority of at least two-thirds of its members present at the meeting in question determines such a meeting to be so open.

[Municipal Council Agenda: 2026-02-05(0129)]

9.2.8 **GOV.24 [HCC] STAFF MATTER**
(11/1/2)

This matter, submitted to the Council Members under separate cover, is to be dealt with in terms of section 14(2)(a) of the Local Authorities Act, 1992 (Act 23 of 1992) (as amended) which reads as follows:

Every meeting of a local authority council shall be open to the public, except on any matter relating to -

- (i) *the appointment, promotion, conditions of employment and discipline of any particular officer or employee of a local authority council;*

unless the local authority council by a majority of at least two-thirds of its members present at the meeting in question determines such a meeting to be so open.

[Municipal Council Agenda: 2026-02-05(0129)]

9.2.9 GOV.25 [HCC] STAFF MATTER
(11/3/1/2)

This matter, submitted to the Council Members under separate cover, is to be dealt with in terms of section 14(2)(a) of the Local Authorities Act, 1992 (Act 23 of 1992) (as amended) which reads as follows:

Every meeting of a local authority council shall be open to the public, except on any matter relating to -

- (i) *the appointment, promotion, conditions of employment and discipline of any particular officer or employee of a local authority council;*

unless the local authority council by a majority of at least two-thirds of its members present at the meeting in question determines such a meeting to be so open.

[Municipal Council Agenda: 2026-02-05(0129)]

**9.2.10 FNS.1 [UTP] APPLICATION FOR THE BUILDING
LINE RELAXATION ON ERF 556,
HOCHLAND PARK**
(L/556/HP)

Application

An application for a Building Permit No. 1377/2025 for Erf 556, Hochland Park was submitted by the owner Ms Agneta Matsuis for the following:

- Relaxation of the 3 metre building line for Erf 556, Hochland Park to enlarge the bedrooms of the existing two (2) bedroom flat.

The locality plan is **attached as page 110 to the agenda.**

The proposed alterations on Erf 556, Hochland Park encroaches the 3 metre common lateral boundary line with Erf 557, Hochland Park. The owner of Erf 557, Hochland Park (Mr Kurt Schimmel, herein referred to as the objector) object to the proposed alterations on Erf 556, Hochland Park, and associated relaxation of the 3 metre building line.

Existing situation

The erf measures 1 251 m² and is zoned 'residential' with a density of 1:700 m² and a coverage of 50 %. The erf allows for a residential dwelling with a total floor area of 625,5 m². A site inspection conducted on 15 October 2025 confirmed that the 3 metre building line indeed need to be encroached on by ± 1.3 metres to accommodate the proposed alterations on the erf. However, the proposed alterations are within the allowable 50 % coverage.

Development proposal

The owner of Erf 556, Hochland Park intends to extend the two (2) bedrooms of the outside flat of her property.

Windhoek Zoning Scheme and Canal Resolution Provisions for the Relaxation of Building Lines

In terms of clause 20 of the Windhoek Zoning Scheme.

20 Side spaces of buildings

- 1) *Except with the consent of Council or as otherwise provided for in this Scheme, no building or structure or any portion thereof shall be erected nearer than three (3) metres to any lateral or rear boundary common to an adjoining erf. A lateral boundary is defined as a boundary with at least one end on a street boundary, a street boundary is any boundary common to a street, and a rear boundary is any boundary other than a street or lateral boundary. In the case of a dwelling unit or residential building the three (3) metre requirements shall apply to single storey units and shall increase by two (2) metres for each additional storey. The minimum requirement shall be measured from the external walls of the building under consideration.*
- 2) *The Council may, subject to any conditions it deems necessary, relax the provisions of clause 20(1).*

*** As per Council Resolution 233/09/2019 attached as page 111 to the agenda, *inter alia* resolved as follows:

That any building permit application for the relaxation of building lines where objections have been received be presented to Council for a final determination in the matter.

Hence, the application for the building line relaxation and the objections lodged are herewith submitted to Council, for consideration.

Objection

*** The applicant is required to obtain comments from the neighbor (Owner of Erf 557, Hochland Park) for the relaxation of the 3 metre building line onto common boundary line. A copy of the building plan was physically presented to the owner of Erf 557, Hochland Park (referred to as the objector) who objected to the building line relaxation in writing. The objection letter and applicant's response letter are attached as pages 112 - 113 and 114 - 116 respectively to the agenda.

The owner of Erf 557, Hochland Park is objecting to the proposed alterations due to concerns that the proposed extension of the flat will invade their privacy – the owner is of the view that the proposed new bedroom windows will be too

close to their erf and will be *'looking directly into his erf'*. Another concern is that the enlarged flat will occupy more tenants hence there will be a possibility of disturbance since the proposed extended bedroom windows are too close to the boundary wall.

Urban Policy Division response to the objection

During the site inspection it was confirmed that, although the proposed alterations encroach on the 3 metres building line, they will not have any adverse impact on neighbouring erf owners. The boundary wall between the two (2) properties measures ± 1.9 metres in height, which makes direct lines of sight into the objector's rooms practically impossible. The allegation of privacy intrusion could therefore not be substantiated.

The concern regarding a potential increase in noise or disturbance as a result of larger bedrooms is also not supported by any evidence. No complaints or records of disturbance exist to indicate a history of nuisance, and the application does not include the addition of new bedrooms. The proposal merely enlarges the existing rooms, which currently measure only 10 m² and 9 m² respectively. The extension serves to improve the habitability and functionality of the existing dwelling, without increasing the number of occupants or altering the intensity of use of the property.

On this basis, there is no indication that the proposed development will negatively affect the peace, privacy, or amenity of the adjacent property owners.

Conclusion

Following on the information provided and the visual assessment at the property the proposed building plan and relaxation of building lines on Erf 556, Hochland Park, is supported.

Management Committee, having considered the application

RECOMMENDED

- 1 That the relaxation of the 3 meter building line on Erf 556, Hochland Park, adjacent to Erf 557, Hochland Park, as per the Building Permit Application No. 1377/2025, be approved in terms of clause 20(2) of the Windhoek Zoning Scheme.
 - 2 That both the applicant and objector be informed of Council's decision and be given the opportunity to appeal against Council's decision to the Minister of Urban and Rural Development within twenty eight (28) days from the date of notification thereof.
 - 3 That any notice of intention to appeal against the Council decision be submitted to Council within twenty eight (28) days from the date of notification of the Council Resolution.
 - 4 That the resolution be implemented prior to confirmation of the minutes to allow for prompt feedback to the applicant.
-

[Municipal Council Agenda: 2026-02-05(0129)]

**9.2.11 FNS.2 [UTP] APPLICATION FOR CONSENT FOR A
'BUSINESS BUILDING' UNDER THE 'OFFICE'
ZONING FOR THE OPERATION OF A CAR
RENTAL ON ERF 715, WINDHOEK
(L/715/W)**

Application

An application was received from Du Toit Planning Consultants, appointed by Drongos Investment Close Corporation (CC/2023/07717) for:

- Consent for a business building under the 'office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek.

The Power of Attorney is signed by Howard Ian Sivertsen and Owen Sivertsen as the members of Drongos Investment Close Corporation (CC/2023/07717). The amended founding statement confirming the members of the close corporation is included in the application.

A credit clearance was provided and the Strategic Executive: Finance and Customer Services indicated that the application may proceed.

*** The full application is **attached as pages 117 - 191 to the agenda.**

Erf information

The erf is located in Teinert Street closely located to the GAME Centre on Erf 6880, Windhoek. The erf is 1 659m² in extent and is currently zoned 'office' with a bulk of 0.4.

The property currently accommodates the existing Namibia Car Rental Offices.

Development intention

The intention is to obtain the required consent use approval to continue to operate a car rental business on the 'office' zoned property. No new land uses are foreseen and applied for.

Advertisement

The public consultation process was completed as follows for the proposed development in line with the requirements of the Public Consultation Policy:

- *** - The proposed consent use was advertised in The Namibian and New Era newspapers on 17 and 24 April 2025, as per the advertisements, **attached as pages 177 - 180 to the agenda;**
- *** - A notice of the proposed rezoning, **attached as pages 181 – 182 to the agenda,** was placed on the notice board of the Municipal Council of Windhoek Customer Care Centre (CCC) as well as on the site.

- *** - Neighbour consultation letters / forms, **attached as pages 183 - 186 to the agenda**, were sent to the direct neighbours on Erven 713, R/712. 716, R/L, 714, 8834 and R/7231 Windhoek.

*** Two (2) objections **attached as pages 187 - 119 to the agenda**, were received.

Objections received

Two (2) objections were received from P Gerstle the owner of Erf 716, Windhoek and the Mandume Body Corporate the owners of Erf 8834, Windhoek.

The owner of Erf 716, Windhoek listed reasons for the objection as follows:

- There is not enough parking in the street for my own tenants;
- Parking on my pavement (spill over parking); and
- The interlocked pavement was done at own expense and is being damaged by over spill parking.

The owner of Erf 8834, Windhoek listed reasons for the objection as follows:

- The rental cars are taking up most of the public parking in the street as well as the parking on the pavement;
- There are regular instances where they park on our private parking as well as parking behind us so that we can't get out; and
- We feel strongly that they should move to an area of light industry where all the vehicles can be accommodated for example southern industrial area.

*** The objections from the neighbours are included as part of the Public Participation Report submitted by the Consultant, **attached as pages 183 - 186 to the agenda**.

*** The Consultant's response to the objections is submitted as part of the Public Participation Report, **attached as pages 187 - 191 to the agenda**.

The Urban Policy Division's responses to the objections will be addressed as part of the evaluation of the application.

Technical comments

The application was circulated for comments and the following can be reported:

Comments from the Strategic Executive: Urban and Transport Planning

- Sustainable Development

There is no objection to the proposed rezoning.

- Building Control

The division does not have objection to the application, on condition that the applicant submit a building plan that meet the requirement of parking.

- **Roads Planning, Design and Traffic Flow**

Access is gained from Teinert Street; which is a short road which has low to medium traffic volumes during peak hours.

- The division has no objection to the consent for a business building under the 'office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek: Provided:
 - Parking is provided as per the parking layout dated 5 August 2025.
 - Parking requirement of two (2) bays per 100 m² display area and the display area is to be indicated on the plan.
 - Consent use will only come into effect after meeting parking requirements to the satisfaction of the Strategic Executive: Urban and Transport Planning.

- **Roads and Stormwater**

A storm water investigation was done and the following is reported:

- The proposed Erf 715 has a general downward slope from the northeast into a southwesterly direction.
- There is a stormwater course flowing across the central part of the proposed Erf 715, flowing from the northeast into a southwesterly direction.

There is no objection to the application: Provided:-

- That surface storm water runoff be accommodated according to clause 35 of the Windhoek Town Planning Scheme.
- That prior approval must be obtained from the Strategic Executive: Urban and Transport Planning if the accommodation of the stormwater on the proposed portions is contemplated.
- That engineering drawings on how the stormwater would be accommodated to the satisfaction of the Strategic Executive: Urban and Transport Planning, be submitted for approval simultaneously with the building plans.
- That all existing stormwater pipes, outlets and inlets or any other stormwater system be clearly indicated on all building plans submitted prior to the approval thereof.
- That no closure of any stormwater systems will be allowed.
- That no building plan will be approved until the above stormwater conditions are met.

- That no access be allowed over any stormwater structure or catchpit.
- That no development be allowed onto or over any stormwater system or structure.
- That the Strategic Executive: Urban and Transport Planning, verify any stormwater related works upon completion thereof.
- That a condition for the resale of this property be included in the Title Deed of the erf, whereby transfer to a third party only take place with the approval of the Municipal Council of Windhoek. [Approval will only be granted after the Strategic Executive: Urban and Transport Planning has certified that the stormwater has been accommodated satisfactorily].

Comments from the Strategic Executive: Infrastructure, Water and Technical Services

- **Engineering Services**

There is no objection to the application: Provided:

- That any additional requirements with regard to water or sewer services be for the applicant's account, subject to approval by the Strategic Executive: Infrastructure, Water and Technical Services.

Comments from the Strategic Executive: Electricity

- **Technical Support**

There is in principle no objection to the application submitted: Provided:

- That should any municipal electrical infrastructure need to be relocated, dismantled or replaced as per request received from the applicant, all cost related thereto be for the applicant's account.
- That only one (1) service connection from the municipal electrical network be allowed per erf, and further distribution be from the main LV kiosk/board of each erf.
- That for erven that are zoned 'general residential', 'business', 'office', 'institutional' or 'industrial' and a service connection larger than 3 x 60 ampere is required, the applicant and/or his/her electrical engineering representative contact the Strategic Executive: Electricity, well in advance, during the planning stage, before any building plans have been approved to determine whether the existing electrical network can handle the additional loading or whether a substation building or site is to be provided by the applicant at his/her own cost to incorporate an additional substation.

- That it be noted that a connection charge may be payable at the cost of the applicant and the applicant be advised to review the Department of Electricity’s Connection Charge Policy, Schedule of Approved Non-Regulated Tariffs and/or to consult directly with the Strategic Executive: Electricity for information on connection charges.

Comments from the Strategic Executive: Economic Development and Community Services

- Environmental Management

The application is supported with no environmental requirements.

Urban Policy evaluation

- Proposed Land Uses and Zoning Scheme Provisions

The erf is zoned ‘office’ with a bulk of 0.4 and the request is for consent for a business building to continue with the existing land use activities of a car rental business on the property.

The primary and consent uses permissible on the ‘office’ zoned erf as per Table A of the Windhoek Zoning Scheme are outlined by the proceeding table:

Use Zone	Primary Uses	Consent Uses	Owners Consent	Prohibited Uses
Office	Office, Medical consulting room, Wellness Centre and Personal Care Facilities	Residential buildings, Institutional buildings, Places of public worship, Other Business Building, Accommodation Establishments (with the exception of the caravan park and lodges), Restaurant, Place of Instruction, Animal Care Centre		Other uses not under columns 2 and 3

The use of an ‘office’ zoned erf for a car rental business can be considered in line with the provisions of the Windhoek Zoning Scheme but approval be subject to the condition that no nuisances are created for neighbouring offices due to on street parking and blocking of neighbouring erven entrances or private parking spaces.

Title Deed conditions

Deed of Transfer T 0919/2024 for Erf 715, Windhoek lists a condition that the erf may only be used for residential purposes which is not in line with the current use and zoning of the erf.

The conditions be replaced with the standard Windhoek Zoning Scheme as follows:

- The erf shall only be used or occupied for purposes which are in accordance with and the use or occupation of the erf shall at all times be subject to the provisions of the Windhoek Zoning Scheme prepared and approved in terms of the Urban and Regional Planning Act, 2018 (Act 5 of 2018).
- The building value of the main building, excluding the outbuilding to be erected on the erf shall be four (4) times the municipal valuation of the erf.

Response to objections received

In accordance with section 65(a) of the Urban and Regional Planning Act, 2018 (Act 5 of 2018), the grounds of objections were evaluated and the Urban Policy Division and the responses are outlined by the following sections:

- (i) *The consent use causes parking problems in the street and on sidewalk in front of neighbouring erven;*

The applicant has indicated that they will lease parking space at a facility in Prosperita to ensure the excess vehicles are accommodated off-site. This will be conditional to the recommendation of the consent use at this location.

- (ii) *The car rental business should move to an area of light industry where all the vehicles can be accommodated for example southern industrial area.*

The use of 'office' zoned erven in an office policy area for car rental businesses is allowed under the provisions of the Windhoek Zoning Scheme.

Compensation

Compensation is not applicable in consent use applications.

Conclusion

The consent use for Erf 715, Windhoek is to formalise and continue with existing land use activities of a car rental business on the property.

The use of an 'office' zoned erf for a car rental business can be considered in line with the provisions of the Windhoek Zoning Scheme but approval be subject to the condition that no nuisances are created for neighbouring offices due to on street parking and blocking of neighbouring erven entrances or private parking spaces. This is especially relevant in a short cul-de-sac street.

The applicant has indicated that they will lease parking space at a facility in Prosperita to ensure the excess vehicles are accommodated off-site. This will be conditional to the recommendation of the consent use at this location.

Management Committee, having considered the application

RECOMMENDED

- 1 That consent to use Erf 715, Windhoek for a business building for a car rental business, be approved.
- 2 That the consent to use Erf 715, Windhoek as a business building for a car rental business is subject to the applicant complying with parking requirements and confining the rental operations to site, which should not spill over into the road reserve.
- 3 That the Deed of Transfer T 0919/2024 for Erf 715, Windhoek list a condition that the erf may only be used for residential purposes which is not in line with the current use and zoning of the erf and that the standard Windhoek Zoning Scheme conditions be registered as follows:
 - 3.1 The erf shall only be used or occupied for purposes which are in accordance with and the use or occupation of the erf shall at all times be subject to the provisions of the Windhoek Zoning Scheme prepared and approved in terms of the Urban and Regional Planning Act, 2018 (Act 5 of 2018).
 - 3.2 The building value of the main building, excluding the outbuilding to be erected on the erf shall be four (4) times the municipal valuation of the erf.
- 4 That parking be provided as per the parking layout dated 5 August 2025.
- 5 That the following parking requirement apply with two (2) exclusive parking bays on-site per 100 m² vehicle display or storage area and the vehicle display/storage area is to be indicated on the plan and the parking bays shall not be part of the vehicle display or storage area.
- 6 That the consent use will only come into effect after meeting parking requirements on-site, being to the satisfaction of the Strategic Executive: Urban and Transport Planning.
- 7 That surface stormwater run-off be accommodated according to clause 35 of the Windhoek Town Planning Scheme, stating:
 - 7.1 That no stormwater drainage pipe, canal, work or obstruction (except stormwater drain pipes, canal or work which have been authorised in writing by the local authority or which have been or may be built, laid or erected in terms of any law) be constructed on or over the property or located in such a way that:
 - The flow of stormwater from a higher lying property to a lower lying property is impeded or obstructed and through which any property is or may be endangered; or

- The flow of a natural watercourse (in which the local authority allow flood water to run-off, be discharged or to be canalised) is or can be changed, canalised or impeded.
- 7.2 That the maintenance of such stormwater pipe, channel or work be the responsibility of the owner of the concerned property.
 - 8 That prior approval must be obtained from the Strategic Executive: Urban and Transport Planning if the accommodation of the stormwater on the proposed portions is contemplated.
 - 9 That engineering drawing on how the stormwater would be accommodated to the satisfaction of the Strategic Executive: Urban and Transport Planning be submitted for approval simultaneously with the building plans.
 - 10 That all existing stormwater pipes, outlets and inlets or any other stormwater system be clearly indicated on all building plans submitted prior to the approval thereof.
 - 11 That no closure of any stormwater systems will be allowed.
 - 12 That no building plan will be approved until the above stormwater conditions are met.
 - 13 That no access be allowed over any stormwater structure or catchpit.
 - 14 That no development be allowed onto or over any stormwater system or structure.
 - 15 That any additional requirements with regard to water and sewer services brought on as a direct consequence of the consent use or subsequent activities will be for the cost of the applicant, subject to approval by the Strategic Executive: Infrastructure, Water and Technical Services.
 - 16 That should an electrical substation be required a servitude or subdivided erf must be allocated where the substation will be constructed.
 - 17 That no electrical substations shall be installed on the sidewalk.
 - 18 That for erven that are zoned 'general residential', 'business', 'office', 'institutional' or 'industrial' and a service connection larger than 3 x 60 ampere is required, the applicant and/or his/her electrical engineering representative contact the Strategic Executive: Electricity, well in advance, during the planning stage, before any building plans have been approved to determine whether the existing electrical network can handle the additional loading or whether a substation building or site is to be provided by the applicant at his/her own cost to incorporate an additional substation.
 - 19 That it be noted that a connection charge may be payable at the cost of the applicant and the applicant be advised to review the Department of Electricity's Connection Charge Policy, Schedule of Approved Non-Regulated Tariffs and/or to consult directly with the Strategic Executive: Electricity for information on connection charges.

- 20 That the applicant acknowledge receipt of this Council Resolution and accept the conditions in writing, within twenty eight (28) days of receipt of this letter.
- 21 That in terms of section 110 of the Urban and Regional Planning Act, 2018 (Act 5 of 2018) any person who is aggrieved by the decision of the Local Authority may appeal against that decision to the Minister.
- 21.1 That Notice of the Appeal and the Grounds for the Appeal be lodged within twenty one (21) days from the date of this Notice to the Minister and Local Authority whose decision is the subject of the appeal.
- 22 That the resolution be implemented prior to confirmation of the minutes.

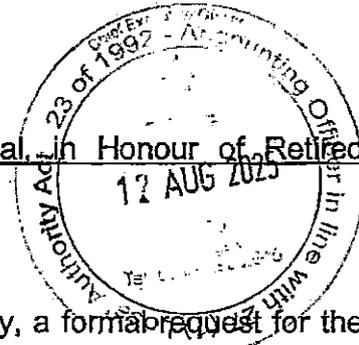
=====

12 August 2025

Mr. Moses Matyayi
The Chief Executive Officer
City of Windhoek
Windhoek

Dear Mr. Moses Matyayi

Subject: Request to Rename Rand Street, Khomasdal, in Honour of Retired
Ambassador Joshua //Hoëbeb



We hereby submit, on behalf of the family and community, a formal request for the renaming of Rand Street in Khomasdal, Windhoek, in honour of retired Ambassador Joshua //Hoëbeb—a distinguished son of Namibia whose service to our nation has been marked by dedication, distinction, and integrity.

This proposal aligns with the values enshrined in Article 96 of the Namibian Constitution, which promotes peaceful relations, mutual respect, and cooperation with other nations—principles that Ambassador //Hoëbeb not only embraced, but actively advanced throughout his life and career.

Background and National Service

As you may be aware, Ambassador //Hoëbeb is a revered figure in Namibian history. As an activist during the liberation struggle, he endured imprisonment and harassment under the apartheid regime, being detained in various towns for his political convictions. Prior to independence, he served as an educator at Martin Luther High School, Okombahē, where he mentored and shaped the minds of many individuals who would go on to become leaders in post-independence Namibia.

In politics, he held senior positions within the SWAPO Party, serving on both the Central Committee and the Politburo, and was appointed as the **first Chief Whip** of

SWAPO in the Constituent Assembly in 1990, playing a central role in shaping Namibia's foundational parliamentary processes.

Diplomatic Achievements

His diplomatic career was equally groundbreaking. In 1993, he was appointed Namibia's **first High Commissioner to South Africa**, where he played a key role in the negotiations that led to the historic reintegration of Walvis Bay into Namibia in 1994. His efforts helped to peacefully resolve one of the most sensitive territorial issues in the country's modern history.

He later served as High Commissioner to Botswana, where he maintained strong bilateral relations despite the International Court of Justice ruling against Namibia in the Kasikili Island dispute—an outcome that could have strained ties between the two nations. His conduct in both postings epitomised the diplomatic ideals of fostering peaceful and friendly relations, as envisaged in Article 96 of our Constitution.

Regional and Community Leadership

Following his retirement from diplomacy, former President Hifikepunye Pohamba recalled Ambassador //Hoëbeb to serve as the **Governor of the Kunene Region** from 2010 to 2015. In this role, he worked to unite a historically divided community, campaigned vigorously against gender-based violence, and became a vocal advocate for wildlife conservation, particularly against rhino poaching.

Beyond governance, Ambassador //Hoëbeb was a school principal and fervent activist during the liberation struggle. He was instrumental in securing funding for the Katutura Intermediate Hospital as he had been a key figure in community mobilisation, including SWAPO rallies at the site of what is now the Katutura Magistrate's Court.

Personal Life and Enduring Influence

Now retired and residing on his farm outside Grootfontein in the Otjozondjupa Region, Ambassador //Hoëbeb remains in good health and continues to engage with national leaders. On **14 August 2025**, he will celebrate his 90th birthday—a milestone that offers a timely opportunity to honour his extraordinary contributions while he is still with us to witness the recognition.

Importantly, despite a lifetime of exceptional service, Ambassador //Hoëbeb has never sought personal honours of this nature. The proposed renaming of Rand Street in Khomasdal—an area with close ties to his community work—would therefore serve as both a symbolic and tangible acknowledgment of his lifelong commitment to Namibia's unity, development, and international stature.

Conclusion

We believe this renaming will enjoy strong community support and stand as a lasting tribute to a man whose legacy continues to inspire Namibians, particularly the youth. We are ready to engage fully with any consultations or procedures required by the City Council.

We respectfully request that the City of Windhoek consider and approve the renaming of **Rand Street to Joshua //Hoëbeb Street** as a fitting and deserved honour for a statesman of such calibre.

Sincerely yours,

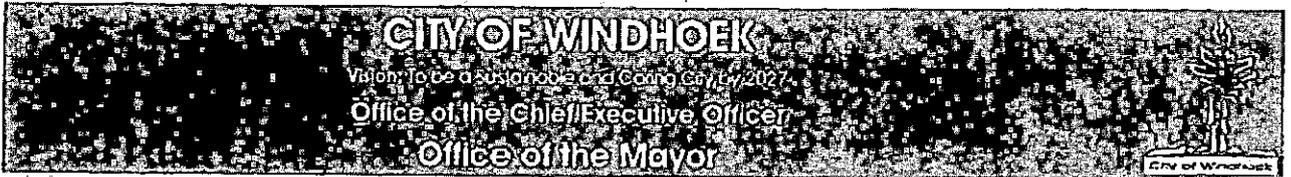


Mr. Allan Weiko (Family Representative)

On behalf of the Family of Ambassador Joshua//Hoëbeb

Tel: 0851270700

Email: allan@alc.com.na



STREET, PLACE RE/NAMING AND PROPERTIES NUMBERING APPLICATION FORM

TYPE OF APPLICATION

Naming/Renaming of Street Naming/Renaming of Place (Re)Numbering of Street Properties

PARTICULARS OF THE APPLICANT

Name & Surname

Allan Weiko

Organization

Postal Address

P.O. Box 226, Windhoek

Residential Address

Nr. 9 Kalkiewynweg, Hochland Park, Wkh

Contact Number

+264 85 127 0700

Email Address

allan@alc.com.na

APPLICATION DETAILS

Township Name

Khomasdal

Name of the Street to be renamed

Rand Street

Proposed three alternative and preferred street names

- Proposed street names must be kept short, at least limited to 20 characters including street name suffixes e.g. street, road, avenue etc.
- Historical, social, natural, national character and connection, cultural and emotional concerns of the affected areas and surrounding must be taken into consideration as themes.
- Further reference must be made to Section 5 and 7 of the Street and Place Naming Guidelines

Alternative 1

Josua // Hoebieb Street

Alternative 2

Amb Josua // Hoebieb Street

Alternative 3

Meester Josua // Hoebieb Street

DECLARATION BY THE APPLICANT

I CONFIRM that details provided are correct, to the best of my knowledge and the application is being made in accordance with the procedures and guidance of the Street and Place Naming Guideline of the Windhoek Municipality

Signature

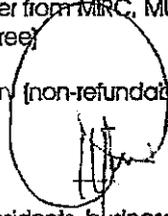
Date 28.08.2028

DECLARATION BY THE APPLICANT

I HAVE included the following supporting information with this application form (please tick)

- 5.1 Background of the street to be renamed
- 5.2 A formal, comprehensive biography of the proposed honouree
- 5.3 Research references, evidence of professional or community support
- 5.4 Motivation as to why the affected street name should be changed
- 5.5 Proof of all three required and placed public notices
- 5.6 Consent affected residents, businesses, institutions and establishments
- 5.7 Written objections raised (if any)
- 5.8 Motivation addressing raised objections (if any)
- 5.9 Acceptance letter from family member(s) (if proponent is not related)
- 5.10 Consenting letter from MIRC, MURD and the respective Diplomatic Representative (for proposed foreign national honouree)
- 5.11 Proof of Payment (non-refundable application fee of 250.00 NAD)

Signature



Date

28.08.2025

* Consents of all immediate residents, businesses and institutions or any other establishment residing and operating in the affected street must be secured. The term "immediate" refers to those affected parties sharing the particular street as their direct physical address as by municipal billing system. Complete list of even must be obtained from the Street and Place Naming/Renaming Committee Secretariat with the proof of payment.

FOR OFFICE USE ONLY

Status of the Application

- | | |
|--|---|
| <input checked="" type="checkbox"/> Application complete | <input type="checkbox"/> Application incomplete |
| <input checked="" type="checkbox"/> Namibian Citizen | <input type="checkbox"/> Foreign National |
| <input type="checkbox"/> Approved | <input type="checkbox"/> Reject |
| <input type="checkbox"/> Council Resolution | |

APPLICATION NO.

Application Dated 12.08.2025
 Received Date 29.09.2025
 Payment Receipt Number 303349
 Administrator [Signature]

Comments

* All required supporting information are compulsory and must form part of the application. Failure to ensure that, will result in the application been considered as incomplete. No incomplete application will be accepted, neither submitted to the Street and Place Naming/Renaming Committee for consideration.

ENQUIRIES AND SUBMISSION OF THE APPLICATION

If hand delivered

Office of the Mayor
 Windhoek Municipality
 c/o Independence Avenue and Sam Nujoma Drive

If via postal address

Office of the Mayor
 Windhoek Municipality
 Box 59, WINDHOEK

Enquiries

Vernourman.Enquiries@windhoekcc.org.na

BACKGROUND OF THE STREET TO BE RENAMED - Rand Street, Khomasdal, WINDHOEK.

Since 1990, there have been a small number of places in Namibia which have been renamed, mainly for political, cultural, or linguistic reasons. Some names have been changed to remove colonial or apartheid references, often reverting to their original native language names. Other names (such as street names in Windhoek) have been renamed after foreign leaders or famous Namibians. Rand Street, Khomasdal in Windhoek is one of the streets that originated from the apartheid dispensation, and is located in the area of Khomasdal, which is often known as "Laeveld". Through our research and communication with the relevant members of the community in that area, and in particular with the door-door petitioning, we found that Rand Street got its origin from the South African (R)currency, and notably there are a number of streets in that area named after various currencies such as the Dollar Street; Franc Street, and the Pond Street.

A larger portion of Rand Street was renamed after the longest German foreign minister, the late Hans Diedrich-Genscher, who was a key figure in facilitating the transition of Namibia's Independence as he acted as a respected, broker between the independence movement and the apartheid regime.

23 September 2025

Mr. Moses Matyayi
CHIEF EXECUTIVE OFFICER
City of Windhoek
Windhoek



Dear Mr. Matyayi,

RE: RECOMMENDATION FOR RENAMING OF RAND STREET

1. My writing has reference to the above captioned matter.
2. Firstly, allow me to thank you for your visionary and strategic leadership of the City.
3. This letter, together with the supporting write up serve to motivate my recommendation to the City of Windhoek to recognise one of the town's unsung heroes through the renaming of Rand Street in Khomasdal to Joshua //Hoëbeb Street.
4. My hope is that you will consider the proposal and that it will receive favourable consideration from the Council and its street-renaming committee.
5. Sir, please receive assurance that I am at your disposal should you require further information or clarity regarding our submission.

I look forward to hearing from you in the near future.

Yours sincerely,

Mr. Christof Maletsky
Private Box 4108 Windhoek, NAMIBIA
mcris@iway.na or 0816320547

PREAMBLE

THEME: JOSHUA //HOËBEB – the humble, soft-spoken man with a heart of a lion

It is a known fact that street names are usually renamed after political revolutions and regime changes for ideological reasons. It is also a way to honour social and cultural activists, among many. The names are normally a narrative text on the town's space that communicate powerful messages about its history.

Public buildings and streets also get named after individuals to provide a sense of a story, and a person's name adds a human element of sorts or a sentimental value to the character of the street, building or the community in which it is located.

In both cases it provides a significant impact on the perception of history and identity by those who subsequently live in the area. More so, it serves as a reflection of the values and ideals that a specific community stood for and aim to commemorate in the future as it shapes public memory and influence how we perceive and interpret the past.

In the case of Rand Street in Khomasdal, initial research has provided little to no explanation to the origin of the name.

What we know is that throughout history, the City of Windhoek has taken pride in its citizens and their achievements. We are aware of some who have received honours through street naming, and the renaming of strategic public places, including in Khomasdal.

It is within that context that I submit the recommendation of the renaming of Rand Street to a well-deserving son of the soil who was instrumental in many political, social and economic upliftment activities in Khomasdal, more especially in the Rand Street area.

THE MOTIVATION

In the struggle years, the name Joshua //Hoëbeb became anonymous with apartheid resistance activities in the areas of Augustineum Secondary School and Freedom Square in Katutura.

History have it that he would organize 'petrol-drum political rallies' together with the likes of Bob Kandetu, Pastor Kamho, Pastor Naholo, Pastor Kameeta, Jefta Tjonzongoro, Phillip Tjerije, Kuzeeko Kangueehi as well as Nico Bessinger, Bella Cupido, Mokganedi Tlhabanello, Rehabeam Kamehozu, Thomas Ihuhua, Comrade Kabinet, Fleming Aspara, Dave Smuts, Hartmut Ruppel, Anton Lubowski, Solomon Gamatham, Kuzaune Tjijenda, Meekulu Kondo, Lucia Hamutenya and Ida Hofmann.

As Bob Kandetu once wrote in The Namibian: "Joshua Hoëbeb was imbued with a hot tongue coated in bitter language that invoked deep hatred among members of the South African police at almost every Swapo rally he addressed."

Such rallies and the anger had resulted in attempts to kill him. Once there was a learners' strike in Katutura and the then regime attempted to kill //Hoëbeb by shooting at him. "//Hoëbeb tried to quietly make off and there was a chase. Three bullets hit the car, but //Hoëbeb came out unscathed" according to Kandetu's account of the event. The attempt on his life was in the vicinity of Augustineum at the top end of Rand Street.

//Hoëbeb's role in the struggle for Independence was not only political. He taught as a teacher too to prepare young Namibians for a future independent Namibia.

And when Independence came, he was in the first Swapo leadership serving as a member of the Constituent Assembly from 1989 – 1990 and thereafter as Member of National Assembly.

Founding Father Sam Nujoma subsequently appointed him as Namibia's representative to South Africa where, between 1993 and 1995, he had a specific task of ensuring reintegration of Walvis Bay into Namibia, together with former President Nangolo Mbumba.

The experienced diplomat and seasoned seasoned teacher was also the first Governor of Kunene region between 2010 and 2015.

Suffice to say that it is about time that Windhoek recognise the positive impact he has made to the Namibia, through a deserved honour of **renaming Rand Street to Joshua //Hoëbeb Street.**

It is thus my submission that we have slept on this one as community and leaders and it would be remiss from us to continue to ignore the historic moments through the naming process.

I so submit.

Kind regards

A handwritten signature in black ink, appearing to read 'MALETSKY' with a stylized flourish at the beginning.

Christof Maletsky

ABOUT THE MOVER OF THE RECOMMENDATION:

** Christof Maletsky is currently the Chief Executive Officer of New Era Publication Corporation. He has over 30 years of journalistic and media management background, some of it covering the reintegration of Walvis Bay into Namibia.*

PROFILE:

Background

Retired Ambassador & Governor Josua//Hoëbeb, better known to greater Namibian nation as "Meester" was born at Rooikraal in the Omaheke Region on the 14th August 1935. He is the eldest of 8 (Eight) siblings.

He attended primary school at the Old Location, and started his secondary schooling at Augustinium Teachers Training and Vocational College in Okahandja, the cradle of political activism and where many of Namibia's brightest graduated from. He further his studies at Emerencia College in South Africa

National Service

As you may be aware, Ambassador //Hoëbeb is a revered figure in Namibian history. As an activist during the liberation struggle, he endured imprisonment and harassment under the apartheid regime, being detained in various towns for his political convictions. Prior to independence, he served as an educator at Martin Luther High School, Okombahe, where he mentored and shaped the minds of many individuals who would go on to become leaders in post-independence Namibia. In the late 80's, he founded the Namibia Literacy Programme, that focussed more specially on adult education. He served as a board chairman of both Tucsín (The University Centre for Studies in Namibia) that was located in Rand Street across the than Rossing Foundation, as well as the Augustinium High School in Khomasdal until 1989.

In politics, he held senior positions within the SWAPO Party, serving on both the Central Committee and the Politburo, and was appointed as the **first Chief Whip** of SWAPO in the Constituent Assembly in 1990, playing a central role in shaping Namibia's foundational parliamentary processes.

Diplomatic Achievements

His diplomatic career was equally groundbreaking. In 1993, he was appointed Namibia's **first High Commissioner to South Africa**, where he played a key role in the negotiations that led to the historic reintegration of Walvis Bay into Namibia in 1994. His efforts helped to peacefully resolve one of the most sensitive territorial issues in the country's modern history.

He later served as High Commissioner to Botswana, where he maintained strong bilateral relations despite the International Court of Justice ruling against Namibia in the Kasikili Island dispute—an outcome that could have strained ties between the two nations. His conduct in both postings epitomised the diplomatic ideals of fostering peaceful and friendly relations, as envisaged in Article 96 of our Constitution.

Regional and Community Leadership

Following his retirement from diplomacy, former President Hifikepunye Pohamba recalled Ambassador //Hoëbeb to serve as the **Governor of the Kunene Region** from 2010 to 2015. In this role, he worked to unite a historically divided community, campaigned vigorously against gender-

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Beyond governance, Ambassador //Hoëbeb was a school principal and fervent activist during the liberation struggle. He was instrumental in securing funding for the Katutura Intermediate Hospital as he had been a key figure in community mobilisation, including SWAPO rallies at the site of what is now the Katutura Magistrate's Court.

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Now retired and residing on his farm outside Grootfontein in the Otjozondjupa Region, Ambassador //Hoëbeb remains in good health and continues to engage with national leaders. On 14 August 2025, he celebrates his 90th birthday—a milestone that offers a timely opportunity to honour his extraordinary contributions while he is still with us to witness the recognition.

Importantly, despite a lifetime of exceptional service, Ambassador //Hoëbeb has never sought personal honours of this nature. The proposed renaming of Rand Street in Khomasdal—an area with close ties to his community work—would therefore serve as both a symbolic and tangible acknowledgment of his lifelong commitment to Namibia's unity, development, and international stature.

Conclusion

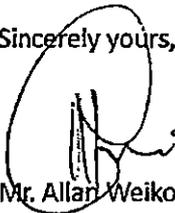
We hereby submit, on behalf of the family, a formal request for the renaming of Rand Street in Khomasdal, Windhoek, in honour of retired Ambassador Joshua //Hoëbeb—a distinguished son of Namibia whose service to our nation has been marked by dedication, distinction, and integrity.

This proposal aligns with the values enshrined in Article 96 of the Namibian Constitution, which promotes peaceful relations, mutual respect, and cooperation with other nations—principles that Ambassador //Hoëbeb not only embraced, but actively advanced throughout his life and career.

We believe this renaming will enjoy strong community support and stand as a lasting tribute to a man whose legacy continues to inspire Namibians, particularly the youth. We are ready to engage fully with consultations or procedures required by the City Council of which the petition is part of it.

We respectfully request your firm support to have the approval from the City of Windhoek in the renaming of Rand Street to Joshua //Hoëbeb Street as a fitting and deserved honour for a statesman of such calibre.

Sincerely yours,



Mr. Allan Weiko (Family Representative)

On behalf of the Family of Ambassador Joshua//Hoëbeb

Tel: 0851270700

HOME (/) / NODE (/NODE) / FORMER HIGH COMMISSIONER, JOSHUA ||HOËBEB REFLECTS ON LATE NUJOMA'S LEADERSHIP

Like 0

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By NBC
Online

Published
6 months
ago



Namibia's former High Commissioner to South Africa, Joshua ||Hoëbeb, recalls the understanding the late Founding President, Sam Nujoma, had in the capabilities of every Swapo leader in the process of nation-building.

||Hoëbeb says the late Nujoma appointed him as High Commissioner with the specific task of ensuring the reintegration of Walvis Bay into Namibia during the crucial negotiations after independence for the return of the port.

He says he had initially communicated his reluctance to accept the task, given its complex nature and inexperience in diplomacy, but the late Nujoma persuaded and encouraged him to take it on.

||Hoëbeb, was also the Swapo Party's first Governor of the Kunene Region from 2010 to 2015 after the Regional Council's Act was amended for Governors to be appointed by the President.

nbc's Blanche Goreses caught up with 14 retired politician after he paid his last respects to the fallen Namibian leader at the Nujoma residence outside Windhoek.

Category

COMMUNITY (/TAXONOMY/TERM/6084)

Author

Blanche Goreses

Tags

BLANCHE GORESES (/TAXONOMY/TERM/16199) NAMIBIA'S FORMER HIGH COMMISSIONER (/TAXONOMY/TERM/33741)
JOSHUA JjHOËBEB (/TAXONOMY/TERM/33742) FOUNDING PRESIDENT SAM NUJOMA (/TAXONOMY/TERM/23769)
KUNENE REGION (/TAXONOMY/TERM/13213) (/TAXONOMY/TERM/9662)

RECENT

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- Communities urged to enroll Deaf children in school (/node/112429)
- Pretoria High Court indefinitely adjourns Lungu repatriation appeal (/index.php/node/112426)
- Mayor hails Swakopmund for hosting Sport events (/index.php/node/112427)
- Minister Sankwasa dissolves Katima Mulilo Town Council (/node/112425)

RECENT NEWS

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Pretoria High Court indefinitely adjourns Lungu repatriation appeal (/node/112426)



Mayor hails Swakopmund for hosting Sport events (/node/112427)



2015-01-05

Read more: Outjo to host 2015 Newspaper Cup <https://neweralive.na/outjo-host-2015-newspaper-cup>

WINDHOEK – The town of Outjo in the Kunene Region will host this year’s edition of the Namibian Newspaper Cup, following a decision taken by the Namibia Football Association (NFA) and the competition sponsors, the Namibian Newspaper.

NFA Secretary-General, Barry Rukoro, wrote to the Kunene Regional Council, informing them of the decision to award hosting rights of the youth football tournament to the Kunene Region at Outjo.

“We have the pleasure to inform you that the NFA and the Namibian Newspaper management have decided to accept your candidature to host the 2015 edition of the Newspaper Cup from 3-6 April in Outjo, in the Kunene Region.”

Kunene was the only region that bade to host of the competition when the bids closed in September last year, with their Governor Joshua //Hoebeeb submitting the region’s bid documents to the NFA Secretariat at Football House the same day.

The decision to award the hosting to Kunene means that Outjo has met the requirements for hosting the Cup. One of the requirements is that the host town must have a stadium with an artificial or natural grass; have a minimum sitting capacity for 2 000 people and suitable lighting for night games as well as a PA system.

The Kavango region were on Easter Monday of 2014 crowned champions of The Namibian Newspaper Cup after edging Oshana 2-1 in a thrilling final match played at the Oscar Norich Stadium in Tsumeb. Oshikoto took third place after beating Otjozondjupa 5-4 on penalties following their 2-2 draw.

In total, 69 goals were scored in 26 matches and Otjozondjupa regions’ Glen Kamutjete walked away as the competition’s Golden Boot Award winner with his nine goals.

Read more: Outjo to host 2015 Newspaper Cup <https://neweralive.na/outjo-host-2015-newspaper-cup>

Bob Kandetu – 28-02-2018

Immanuel Ngatjizeko was one of Namibia's children of the storm. Others that come to mind are Nashilongo Jesriel Taapopi, Solomon Gamatam, Mokganedi Tlhabanelo, Jason Angula, Ida Jimmy, Alfeus INaruseb, Asser Kapere, Bernhard Esau, Immanuel Mwatara, Kuzaune Charles Tjijenda, Daniel Tjongarero, Steve Hondjera, Kilus Nguvauva, Joshua Høebeb, Rikumbi Kandanga, Ida Hofman, Kamae Veseevete, Gerson Veji, Muhorutuu Ndjoze and Hauanga Komeheke.

This list is very long. Unlike with the African National Congress (ANC) in South Africa, SWAPO in Namibia was not effectively banned by the Apartheid regime from political activities and the movement could still organise political rallies, albeit under trying circumstances. Ngatjizeko was for the longest time SWAPO's administrative secretary inside the country, a post also held by Moses Garoeb in exile during the struggle. It so happened that each time there was a SWAPO rally, Ngatjizeko would be one of the people arrested and mostly kept some place in solitary confinement for weeks.

In the end he could not hold a job and just loitered around, only to be arrested again at the next SWAPO rally. In addition to his strong administrative skills and financial management acumen that must have accounted for his position as administrative secretary, Ngatjizeko was a gifted systematic speaker at public rallies. Like Joshua Høebeb, he was soft spoken but each time his sharp tongue got him into trouble.

Once, SWAPO organised a very big rally at Oluno in the north and both Ngatjizeko and Høebeb were billed to speak. When Ngatjizeko took to the podium, the rally went wild. But the straw that broke the camel's back at this rally was Høebeb. He took the microphone and procured a soft orange from the side pocket of his jacket and for about two minutes he said nothing but sucked juice out of his orange, to the amazement of the crowds.

He then visibly threw away the remainder of the orange and said: "You Koevoet and Makakunyas, you puppet chiefs in Namibia, this is what the Boers will do when they are done with you. They will throw you in the air for you to disappear." The crowds went thunderous, but it was the end of the event as the para-military groups took over the rally. They attacked the crowds as if they were promised pay rise for killing and maiming. Ngatjizeko ran into some direction and out of despair entered a house where some residents had taken cover. As his eyes got used to the darkness, in the house he spotted a Kakunya holding a gun in silence. He said "sorry", left the house and ran on. I asked Ngatjizeko what had gone through his mind as he ran from this house and he responded that he was convinced that this Kakunya had turned his gun on him and he was just surprised he did not shoot at him.

Staff Reporter

Windhoek-The new mayor of Khorixas, Elizabeth Geises, has called for unity in the quest to develop the north-western town that has for the past 27 years seen development stagnate.

Geises became the mayor of Khorixas in the middle of December last year after the previous mayor Gerson //Goagoseb was voted out after two years in the seat. //Goagoseb also served as mayor years ago on an UDF ticket before jumping ship to Swapo.

“My message as the new mayor of our town is to join hands, rather than throwing stones and pointing fingers at each other. Teamwork is very important,” Geises told New Era recently.

Residents were called upon to attend meetings in huge numbers and Geises also warned people against pointing fingers and blaming the previous mayor, “as now it is time to be pragmatic, move forward and work together” to develop the town.

Geises also urged residents to work hand in hand with traditional authorities and elders to develop the town. “We as residents hear almost every week how our traditional leaders such as #Aodaman and others, as well as elders, plead for unity and development of our town – therefore I call upon us all to join them,” further counselled the new mayor who seems to have hit the ground running.

On the dirtiness of Khorixas, Geises said that community meetings would be held with the youths to discuss the planned clean-up campaigns and the issue of unemployment.

According Geises, the massive rubbish around the town is due to the December holidays but she promised to completely clean up the town with the youth.

“I am very concerned about high unemployment amongst the youth in Khorixas. I grew up and completed my schooling here so it pains me a lot,” Geises told New Era.

Last December during the election of councillors, UDF’s Eddy /Nanub was voted in as deputy mayor, while Swapo’s Klavius Tjinduwa was elected as chairperson of the management committee. UDF’s Lena #Gaeses was voted in as deputy chairperson of the management committee and Erwin /Howoseb of UDF as member of the management committee, while previous mayor //Goagoseb and then deputy mayor Emgard #Nausies, both from Swapo, are ordinary councillors.

On both UDF and Swapo occupying top positions at the Khorixas Town Council despite Swapo being the majority party, Geises said that it would not be the first time in Namibia that Swapo and other parties will share leadership positions in the country.

“It’s all in the name of development,” Geises said.

In 2015, Minister of Urban and Rural Development Sophia Shaningwa said she was shocked that Khorixas’s development was stagnant, while in 2013 councillors from Khorixas visited then governor of Kunene Joshua //Hoebeb to address lack of support from central government to develop the town.

Most of the town’s residents still travel to Otjiwarongo to do their shopping as the north-western town only has Pep Stores and OK Value as its major retail shops.

KUNENE GOVERNOR APPEALS FOR DROUGHT RELIEF

HOME FEATURED KUNENE GOVERNOR APPEALS FOR DROUGHT RELIEF

Read more: Kunene governor appeals for drought relief <https://neweralive.na/kunene-governor-appeals-drought-relief> By Albertina Nakale

WINDHOEK – Kunene, which is the region worst-affected by drought, will have to continue relying on government drought relief food, as no ploughing activities have taken place yet due to a prolonged dry spell.

Residents of Kunene, who have been battling drought for the last four consecutive years since 2010, have expressed concern over the looming drought.

The Namibia Meteorological Services on Wednesday reported no rainfall in Opuwo while Gobabis recorded 1mm, Ondangwa and Walvis Bay Airport 0.6mm, Otjiwarongo 0.4mm, Rundu Airport and Oranjemund 0.2mm.

Speaking to New Era in an interview yesterday, the Kunene Regional Governor, Joshua //Hoebeb, who confirmed the dilemma, said: “Nobody has ploughed in the whole region. It is getting very late for ploughing and even if the rain comes end of February, it will only help improve the livestock.”

With agriculture limited by the region’s dry, sandy soil, most of the local population relies on livestock farming, leading a semi-nomadic existence dictated by the search for fresh pasture for the cattle and goats.

//Hoebeb added that the conditions of the livestock have also deteriorated, especially cattle, but sheep and goats are still surviving fairly well.

“We might expect deaths of cattle due to drought. Let us hope rain will come to save the livestock. Drought is looming and it’s the fourth time in a row that rain failed in Kunene Region substantially, as of the end of 2010 and beginning of 2011,” he noted.

According to him, government will have to continue providing drought relief food, adding that the Kunene regional disaster risk management unit will soon compile a report to government that the situation did not improve since last year’s drought.

“If rain fails, government has to provide people with food. But fortunately government’s programme for drought relief has not been officially suspended. Those affected the most are still receiving food depending on the volume of food available,” he said.

NAMIBIANS HONOURED BY PRESIDENT

Read more: Namibians honoured by President <https://neweralive.na/namibians-honoured-by-president>

The Most Distinguished Order of Namibia: First Class

62. Amb. Joshua//Hoebeb

63. Samuel Nuuyoma

64. Katrina Hanse-Imarwa

65. Cleophas Mutjavikua

66. Sophia Shaningwa

67. Pashukeni Shoombe

68. Jafet Penda ya Ndakolo

69. Alfea Lawrence Sampofu

70. Clemens. H. KASHUUPULWA

71. Col. (Rtd) Clement Mwaala

72. Amb. Shapwa Kaukungwa

73. Amb. Nora Schimming Chase

74. Sven Thieme (business person)

Timeless Bonds

20

An appraisal of Namibia's Development through time



Bob Kandetu



Joshua Hoeheb: State teacher, Petrol-drum and icon of civil society

Jimmy, and Jesriel Taapopi, mixed in with Daniel Tjongarero as Chairman. Yes, that boy Nashilongo Taapopi, always withdrawn until he took the petrol-drum stage to share his thought with the people of Namibia at large. He left the country in silence, never to return.

Joshua Hoeheb was imbued with a hot tongue coated in bitter tasting language that invoked deep hatred among members of the South African police at almost every SWAPO rally he addressed. Oluno/Okatana rallies carry striking testimony.

He spoke at a rally near Rundu chaired by Marco Hausiku and this culminated into pandemonium. Police helicopters hovered over the crowds with a voice dropping through loud-hallers: 'daar is hy, skiet hom!' (there he is, shoot him) Marco managed the crowds. He mingled among the sea of people with a megaphone and pleaded: 'do not run away... hold hands and bow your heads'. The crowds obeyed, Comrades formed a human shield over Joshua Hoeheb somewhere in the crowd. Hoeheb was saved and there were no major incidents.

In Katutura there was the shooting on Hoeheb. There was a learners' strike at the Augustineum High school. Hoeheb and I were on the school committee and on a Sunday evening we gathered at my house in Soweto Katutura, to contemplate actions of the following day.

Also in attendance was Tives Mbako. Eeperi Ngaujake arrived late for the meeting and reported that a hit squad was on its way to finish me off for taking CCN's drought relief aid into Hereroland. The hit squad was unleashed the same evening at a meeting held at the Ovaherero House in Central Katutura. Otjombinde Councillor, Benjamin Puku Muvangua, who had attended the meeting quickly drove to Eeperi's house to alert him of these developments.

We had abandoned the meeting and crossed the road to make a telephone call from Othniel Kazombiaze's house when the squad

lived in a fourteen-seater white Toyota Combi Hiace. Hoeheb, who had been standing in the dark behind Kazombiaze's house, must have panicked at the arrival of the hit-squad and tried to quietly make off and there was a chase. Three bullets hit his car, one cut through from the rear to the front screen, another went through the left front door window and exited on the right side of the front screen and the last went into the boot of the car, probably aiming at exploding the fuel tank of his Toyota Cressida sedan, but Hoeheb came out unscathed.

Othniel Kazombiaze had taken the number plate of the vehicle and we knew whose car it was. The week that followed had us all contained with rage. One afternoon I arrived at Hoeheb's house in Freedom Square. He looked much depressed and I wondered what had happened. He exclaimed in his soft-spoken style, but evidently boiling with anger: 'Man, my Ma het my kwaad gemaak.' (my mother made me angry).

He had kept a fire arm, some tokarev or makarov or whatever the thing was, in his boxes full of books at his mother's house on the fringes of Gemetigde and Nama Tokasie. As if impelled by divine powers, his mother one day decided to go through his boxes and when she discovered the fire arm, she lifted the manhole cover behind her house and dropped the piece of iron into the abluition. That is how my Comrade lost this hard-gained little thing that he had kept for a rainy day like the one that was in town then. When he asked his mother why she had done that she only said: 'ek sock jou nie in die tronk nie, ek het genoeg probleme' (I do not want you in jail, I have enough problems).

There is so much to say about this humble and soft-spoken man with the heart of a lion. Maybe these will feature in his biography.

Zephania Kameeta and the Years of Upheaval

When I saw Bishop Kameeta in the media it occurred to me that I had not seen or spoken to him in two years. As I vainly tried to get him on the phone for a birthday wish, my mind dived onto memory lane and I recalled the role he played and the moments we shared. The first thought was a student conference at Dobra during the 1970's. Young theologians from Paulineum Seminary at Otjizingwe had assumed centre stage in articulating liberation theology. Among these Pastors were Kamho, Kameeta, Emma and Kapii Muijora. Festus Naholo and others. Also involved in this thrust were young revolutionaries the likes of Daniel Tjongarero, Mokgamedi Ilha banello, Vekuii Rokoro, Maria Kapere, Ngondi Kamatuka, Phillip Tjerije, Marco Hausiku, Jesriel Taapopi and others.

Kameeta articulated two teachings that stuck in my mind. One was Paulo Freire's theory of 'divite et impera' as another fundamental dimension of oppressive action which oppressive regimes developed to keep the masses divided and living at the whims of the oppressor's bureaucracy. Another was the philosophy that Namibians had to cultivate a habit to call one another by name and not by tribes or the language they spoke. These thoughts served as the foundation for mass mobilization during the struggle for Namibia's freedom and independence. The life of Zephania Kameeta has been committed to church, society and the struggle for justice. He is brave yet highly modest. During my years at the Council of Churches in Namibia I came to work closely with Pastor Kameeta. I remember the day we travelled to Leonadville when an elder

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INV20 23 17

29/9/2025
Received
[Signature]

CITY OF WINDHOEK

P.O. Box 59, WINDHOEK NAMIBIA
Telephone No: (061) 290 2911

TAX INVOICE

Reg. Number 2646057-01-5



5285477

Date Issued : 8/20/2025

Vote Number : 5000132050048

Reference Number : STREET REMAINING APPLICATION

System Reference : INV446937

Issued By : 17304 - HAIKONDA (D)

Contact Details : +264 61 290 3517

Address : P.O BOX 226, WINDHOEK

Description : APPLICATION FOR REMAINING RAND STREET, KHOMASDAL IN HONOR OF AMBASSADOR JOSHUA //HOEBEB

PAYMENT DUE

Total Amount Excluding VAT	: N\$ 217.39
Total VAT Amount	: N\$ 32.61
Total Amount Payable	: N\$ 250.00

INVOICE DETAILS

Department : 5000 - URBAN & TRANSPORT PLANNING

Tariff Code	: N/A
Tariff Description	: N/A
Quantity Provided	: 1
Unit Price	: N\$ 217.39
Tariff Amount Excluding VAT	: N\$ 217.39
Tariff VAT Amount	: N\$ 32.61
Tariff Total Amount	: N\$ 250.00
Service Code	: N/A

P82



Sankwasa's anti-social worker comments raises eyebrows

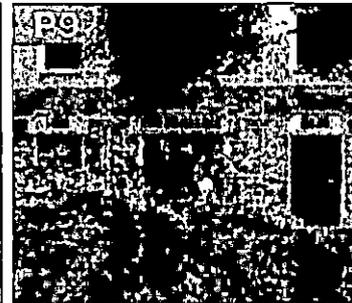
P11

bottomline



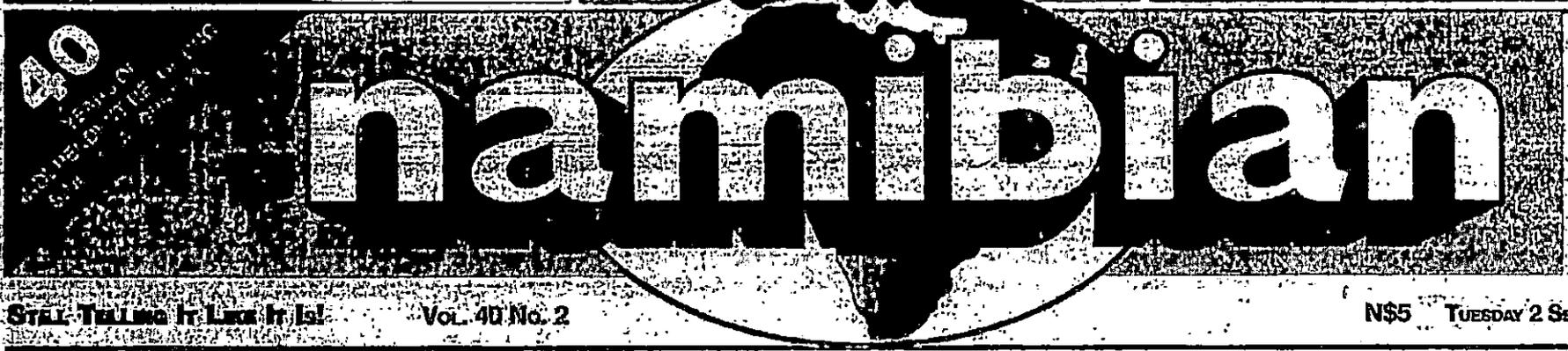
EU still Namibia's largest trade partner

P99



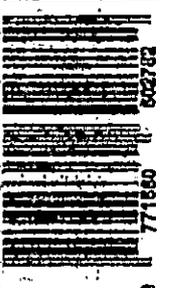
Namibian photographers spotlighted in Berlin

40



Still Talking It Loud In Is! Vol. 40 No. 2

N\$5 TUESDAY 2 SEPTEMBER 2025



Diescho accused of stalking

• VERIFUAMI KANGUMINE

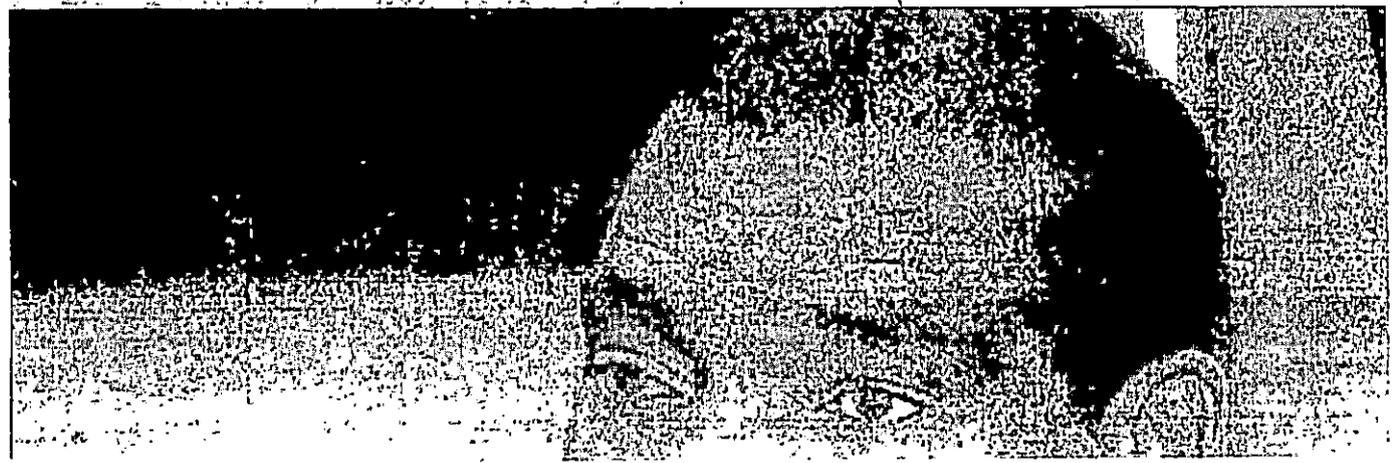
NAMIBIAN academic and political analyst Joseph Diescho is facing allegations of harassment after a local woman accused him of stalking her.

The Namibian understands that Diescho has a history of allegedly harassing women.

Uschi Ramakautlu yesterday told *The Namibian* she is in the process of filing a protection order after Diescho allegedly began showing up at her workplace on multiple occasions.

The protection order has not yet been finalised, as Diescho is currently based in Germany.

"He came to my stall in July and then twice in August to meet me without my consent and I've told him I'm not interested in being friends with him or

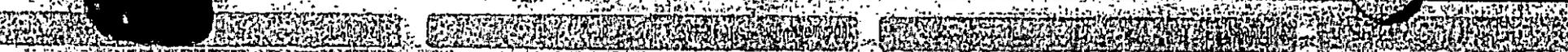




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NEWSPAPER

Namibia
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Father left to care for 7 orphaned grandchildren

Services members and two police officers. It is alleged that Diana, who was pregnant with her third set of twin sons, was being transported to the hospital in a police vehicle when it collided with the NCS bus. Her sister Roselda accompanied her. The accident occurred around 10 km on the B1 road, about 10 km from the town of Karibera. It involved a police van carrying six passengers, including four officers, and an NCS bus transporting 13 officers.

WATSON on page 2

Herin Jagger



Govt banks on NDP6 to lift jobs

Ogongo sets pace



Relations... New Era CEO Christof Maletsky. Photo: Nampa

Organisations strengthen relationships with the media when providing credible information and engaging regularly, New Era Chief Executive Officer Christof Maletsky said on Friday.

Speaking in Windhoek at a media workshop organised by the Namibia Financial Institutions Supervisory Authority (Namfisa), Maletsky said trust is the most important currency between companies and journalists.

"Respect, transparency, and credibility are the pillars of effective media relations. Journalists also want to protect their reputation and organisations must never lie," he said.

The workshop focused on strengthening media relations, understanding media ethics, improving economic and industry data reporting and building constructive engagement.

Maletsky described the Namibian media landscape as volatile and under pressure, with declining advertising revenue and competition from social media platforms.

"Seven years ago, newspapers like The Namibian printed 78 000 copies with over 120 pages. Today, advertising income has dropped to between 10 and 30% of what it was, and

online revenue streams are still insufficient," he said.

He added that the industry also faces challenges of misinformation, disinformation, deepfakes and inexperienced newstrooms. Despite these challenges, he said traditional media remain trusted sources of information.

"Studies show that readers still believe in the work of legacy media as opposed to social media," Maletsky said.

He urged organisations to improve how they interact with journalists by respecting deadlines, avoiding corporate jargon and providing substantive content that improves news output.

"Neversay no 'no comment'. Rather give background information off the record," he said.

He recommended strategies such as holding regular engagement sessions, offering exclusives and providing compelling stories with data and expert voices.

"Exclusives do the trick, but you must add value," he said.

Maletsky also encouraged building personal rapport with journalists and editors while maintaining professionalism.

"Connect with journalists in the social space, but always keep it professional," he said. -Nampa

MVA Fund to cover burials, support families in Mariental tragedy

Loide Jason

The Motor Vehicle Accident (MVA) Fund has pledged to cover the burials in full and provide financial support for the dependants of the 16 people who lost their lives in Saturday's tragic crash near Mariental.

Announcing the intervention at a media briefing in Windhoek, the fund's chief executive officer Rosalia Haufiko said the organisation had already assumed financial responsibility the moment the accident was reported. "All funeral expenses will be paid for, and dependants of the deceased, including children and spouses, will be assisted through loss-of-support benefits," the CEO said.

She said the fund has put in place an immediate NS7 000 funeral grant per victim, which will be released within half an hour of the required documents, death certificates and post-mortem reports being processed.

In addition to covering burial costs, the fund will provide longer-term financial relief. Children and spouses of the deceased qualify for annual loss-of-support benefits of up to NS100 000. The fund will also cover all medical expenses for the four officers who survived but remain hospitalised in Windhoek, including ongoing hospitalisation, rehabilitation, and possible loss

of income. During the press conference, the Inspector General of the Namibian Police, Joseph Shikongo, confirmed the names of the 16 deceased, after their next of kin were notified.

Memorial service

An official memorial service for all 16 victims will take place tomorrow, (3 September), at 11h00 at the Mariental Sports Field.

"Every life is precious, and the loss of so many lives at once is a national tragedy that leaves us all shaken," Lipumbu said. "May the souls of our fallen officers and civilians rest in eternal peace, and may their families find strength in this time of sorrow."

She also urged the public to respect the memory of the deceased by refraining from sharing disturbing images of the crash on social media. "Such actions cause additional pain to grieving families and dishonour the memory of our colleagues," she warned.

Compassion

As investigations into the accident continue, authorities emphasised that this period should be about compassion and solidarity.

Minister Lipumbu summed up the national mood, saying: "While we search for answers, let us remember that now is the time for compassion, solidarity and prayer. The nation stands with the grieving families."

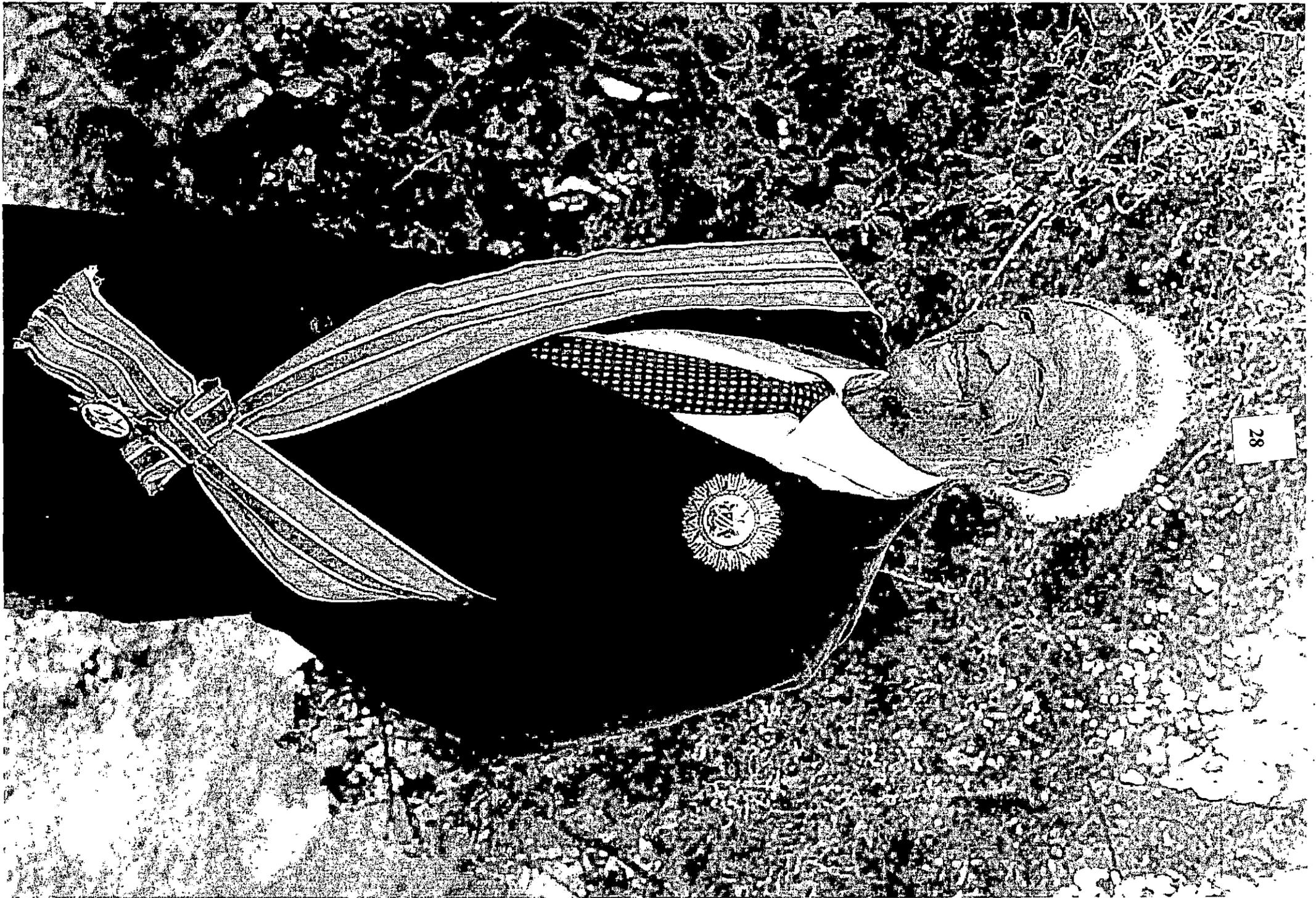
ljason@nrpc.com.na

PUBLIC NOTICE

Notice is hereby given in accordance with the Street and Place Naming Guidelines of the City of Windhoek, that **MR ALLAN WEIKO, ID No 730805 0019 9, P.O Box 226 WINDHOEK, allan@alc.com.na** request that the Windhoek Municipal Council:

Rename RAND STREET, KHOMASDAL, IN HONOR OF THE AMBASSADOR JOSHUA //HOEBEB.

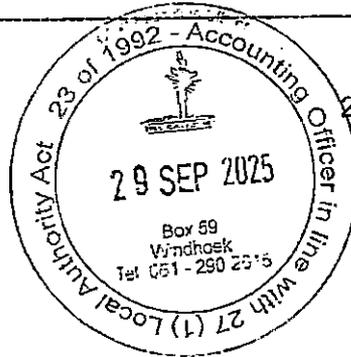
Written objections, duly motivated, to be intended to this transaction must be forward to the Chief Executive Officer, Box 59, Windhoek and the applicant within fourteen (14) working days from the date of the advertisement.



Advocate Bience Gawanas
 PO Box 87246, Eros, Windhoek.
 Email: bgawanas56@gmail.com; bgawanas@hotmail.com.
 Mobile + 26485282223

Mr Moses Matyayi
 CEO
 City of Windhoek

ceo@windhoekcc.org.na



22 September 2025

Dear Mr Matyayi,

I am writing this letter in support of the renaming of Rand Street to Joshua //Hoebeb Str. in honour of his service and dedication to our country and its people. I also endorsed the motivation provided by Mr Alan Weiko

Mr //Hoebeb has been a family friend since I was a child in the Old Location and always held him in high esteem as one of our elders who were very much respected.

I subsequently knew him as a teacher at Martin Luther High School, as a leader in the struggle for the liberation of Namibia and as our ambassador to Botswana. As youth activists, he always reminded us of the purpose of the struggle and to never give up. He has a sharp memory and can recall events of many years ago. He is indeed a living library. I had been privileged as a youth to have known him and always trying to follow his example.

As a humble person, his leadership qualities were expressed through his commitment to the people and serving his community with passion.

I therefore wholeheartedly support the renaming of the street in honour and respect of a leader who has consistently served his community and people even now at his age of 90 years that we recently celebrated.

Yours sincerely

Bience Gawanas

John Mutorwa

Tel: (061) 241004
 Tel: (066) 255113
 (066) 258226

P.O. Box 24352
 Windhoek
 Republic of Namibia

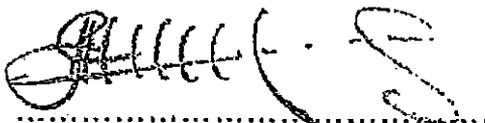
19 August 2025

Mr Allan WEIKO
WINDHOEK
 Republic of Namibia

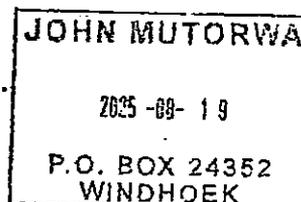
Telephone: 085 127 0700
 EMAIL: allan@alc.com.na

**REQUEST TO RENAME RAND STREET, KHOMASDAL, IN HONOUR
 OF RETIRED AMBASSADOR JOSHUA //HOËBEB**

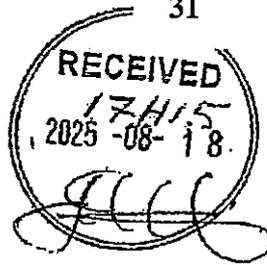
1. Thank you very much, for providing me a copy of your attached 12 August 2025 letter; addressed to the Chief Executive Officer (CEO) of the City of Windhoek, on 18 August 2025.
2. Both in my Personal and Private capacities; but also as a former Public Servant/Public Office Bearer; I fully and unconditionally support, both the objective content and the well-articulated context of your 12 August 2025 letter, that: "the City of Windhoek consider and approve the renaming of RAND STREET TO JOSHUA //HOËBEB Street; as a fitting and deserved honour for a statesman of such calibre," (12 August 2025 letter, the last Paragraph).
3. In the meantime, please, accept Mr Alla WEIKO, my most deepest gratitude, sincere thanks and respect. Convey the same to Ambassador "Meester: Joshua //HOËBEB.



 John MUTORWA



12 August 2025



Mr. Moses Matyayi
The Chief Executive Officer
City of Windhoek
Windhoek

Dear Mr. Moses Matyayi

Subject: Request to Rename Rand Street, Khomasdal, in Honour of Retired Ambassador Joshua //Hoëbeb

We hereby submit, on behalf of the family and community, a formal request for the renaming of Rand Street in Khomasdal, Windhoek, in honour of retired Ambassador Joshua //Hoëbeb—a distinguished son of Namibia whose service to our nation has been marked by dedication, distinction, and integrity.

This proposal aligns with the values enshrined in Article 96 of the Namibian Constitution, which promotes peaceful relations, mutual respect, and cooperation with other nations—principles that Ambassador //Hoëbeb not only embraced, but actively advanced throughout his life and career.

Background and National Service

As you may be aware, Ambassador //Hoëbeb is a revered figure in Namibian history. As an activist during the liberation struggle, he endured imprisonment and harassment under the apartheid regime, being detained in various towns for his political convictions. Prior to independence, he served as an educator at Martin Luther High School, Okombahe, where he mentored and shaped the minds of many individuals who would go on to become leaders in post-independence Namibia.

In politics, he held senior positions within the SWAPO Party, serving on both the Central Committee and the Politburo, and was appointed as the first Chief Whip of

SWAPO in the Constituent Assembly in 1990, playing a central role in shaping Namibia's foundational parliamentary processes.

Diplomatic Achievements

His diplomatic career was equally groundbreaking. In 1993, he was appointed Namibia's first High Commissioner to South Africa, where he played a key role in the negotiations that led to the historic reintegration of Walvis Bay into Namibia in 1994. His efforts helped to peacefully resolve one of the most sensitive territorial issues in the country's modern history.

He later served as High Commissioner to Botswana, where he maintained strong bilateral relations despite the International Court of Justice ruling against Namibia in the Kasikili Island dispute—an outcome that could have strained ties between the two nations. His conduct in both postings epitomised the diplomatic ideals of fostering peaceful and friendly relations, as envisaged in Article 96 of our Constitution.

Regional and Community Leadership

Following his retirement from diplomacy, former President Hifikepunye Pohamba recalled Ambassador //Hoëbeb to serve as the Governor of the Kunene Region from 2010 to 2015. In this role, he worked to unite a historically divided community, campaigned vigorously against gender-based violence, and became a vocal advocate for wildlife conservation, particularly against rhino poaching.

Beyond governance, Ambassador //Hoëbeb was a school principal and fervent activist during the liberation struggle. He was instrumental in securing funding for the Katutura Intermediate Hospital as he had been a key figure in community mobilisation, including SWAPO rallies at the site of what is now the Katutura Magistrate's Court.

Personal Life and Enduring Influence

Now retired and residing on his farm outside Grooffontein in the Otjozondjupa Region, Ambassador //Hoëbeb remains in good health and continues to engage with national leaders. On 14 August 2025, he will celebrate his 90th birthday—a milestone that offers a timely opportunity to honour his extraordinary contributions while he is still with us to witness the recognition.



Importantly, despite a lifetime of exceptional service, Ambassador //Hoëbeb has never sought personal honours of this nature. The proposed renaming of Rand Street in Khomasdal—an area with close ties to his community work—would therefore serve as both a symbolic and tangible acknowledgment of his lifelong commitment to Namibia's unity, development, and international stature.

Conclusion

We believe this renaming will enjoy strong community support and stand as a lasting tribute to a man whose legacy continues to inspire Namibians, particularly the youth. We are ready to engage fully with any consultations or procedures required by the City Council.

We respectfully request that the City of Windhoek consider and approve the renaming of Rand Street to Joshua //Hoëbeb Street as a fitting and deserved honour for a statesman of such calibre.

Sincerely yours,

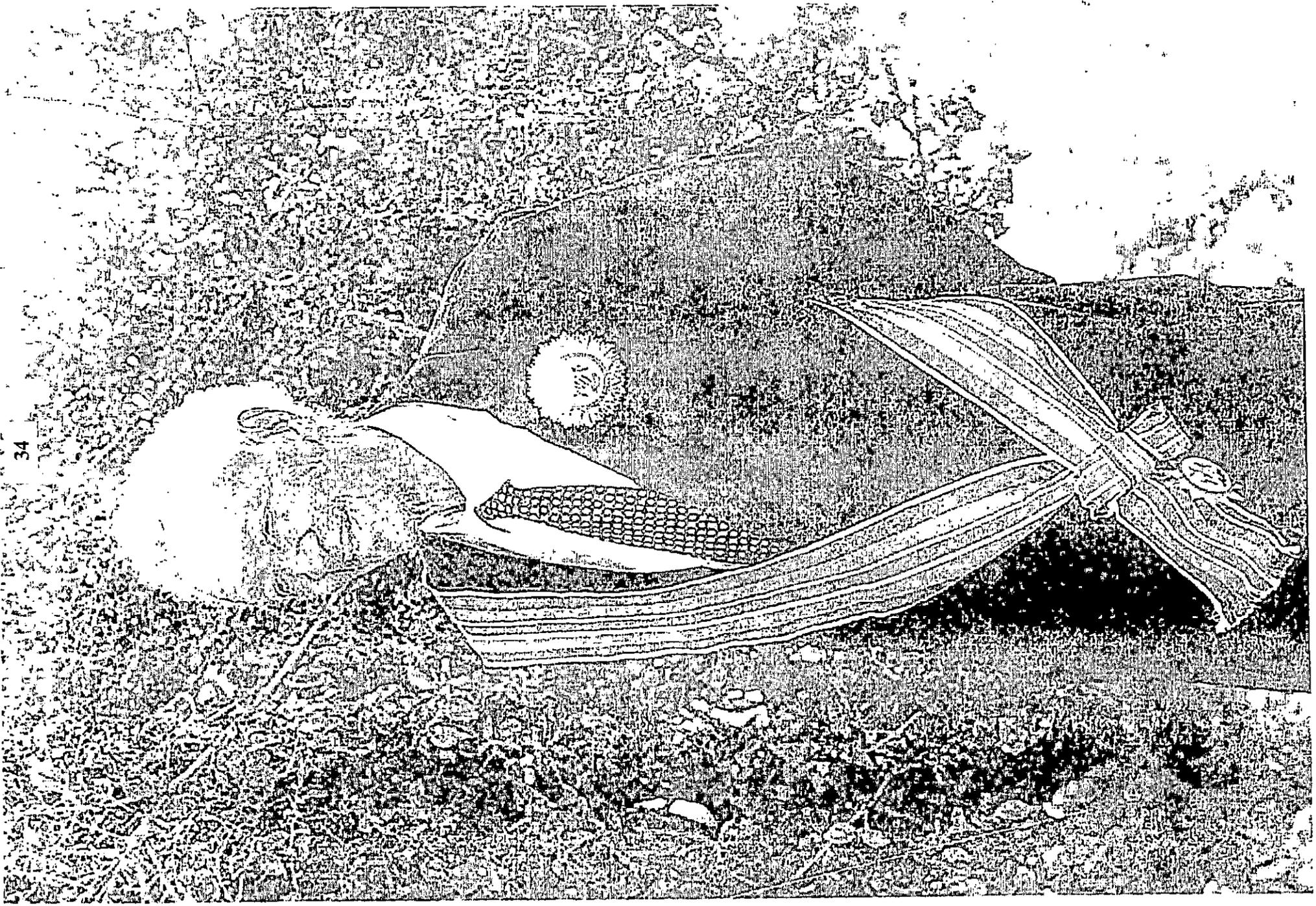

Mr. Allan Welko (Family Representative)

On behalf of the Family of Ambassador Joshua//Hoëbeb

Tel: 0851270700

Email: allan@afc.com.na





34

Jeanette

From: jenoux@icloud.com
Sent: Wednesday, September 03, 2025 9:56 AM
To: Jeanette

Support of mr Joshua Hoebeb street allocation to his name in windhoek

I am dr Elia george Kaiyamo, resident of Katutura location since 10 October 1962. I resided at Ovambo 10 /35.

I came to know Meester Joshua Hoebeb since his teaching career in 1962 at mission school that was located in church street in the center of the city .

He was one of those dedicated teachers who were produced by the old location between 1956 -1959.

Among his peers were patriots like late clemence Kapuoo, late karamata, late Garises , late Skrywer , late Aron Hipondoka , late Andrew Kloppers and his Wife .

These were the people that brought education in good faith to all to all our people in windhoek and to namibia in general. These we're the generation of teachers who produced current 5 th consecutive generations.

He was among those that let the education struggle in our country by supporting the freedom efforts from the beginning to the end . He still serves as role model in collective parenting in our today society .

I personally came to

know him better when I joined the church school called , Karibib secondary school and later martin Luther high school. This is the school that produced Namibian leaders at the home front . The lines of Bishop Kameeta , late Daniel Tjongarero , late Jason Angula , late Philip Tjerije , Alfeus Naruseb , dr Elia george Kaiyamo and others .

As a noted Christian of our church he dedicated himself as a humanist in our society , that loved all the people equally and who continue to build on the nation building that is vital important for the peace and stability of our country and nation ,

It is in the light of all those sentiments that I support the efforts to name a street in windhoek in his honor , so that the future general and beyond will have a reference point and memories of our country .

I so submit

Dr Elia george Kaiyamo

-Former Ambassador of namibia to people Republic of China , Vietnam , North Korea , Cambodia and Mongolia -
 Former teacher of Katutura -Founding chairman of the Namibian library council -Former deputy minister of Home affairs -Member of the political buro and central committee of the ruling party swApo party EG Kaiyamo @icloud .com

+264811246630

Sent from my iPhone=

ALPHEUS G. INARUSEB

Cell: +264 811228188
Email: alpheusnaruseb@gmail.com

No. 11 Falken Weg
Hochland Park, Windhoek

18 September 2025

The Chief Executive Officer
City of Windhoek
Windhoek



Dear Mr. Moses Matyayi.

Subject: Motivation in support of the request to City of Windhoek for the Renaming of Rand Straat, Khomasdal to Josua //Hoëbeb Street

I trust that this mail finds you well, while the delayed response is sincerely regretted.

On a rainy Sunday afternoon in January 1970, I was dropped at the then Secondary School in Karibib by my Mageis son (Abuti Tamsi Walter Tsuseb) to start my post primary school education. The school was under the administration of the Evangelical Lutheran Church. That day heralded my very first encounter with the great man. Meester //Hoëbeb was the "Koshuisvader" of the Boys-hostel. I found the cohesive nature of the //Hoëbeb nucleus family inspiring. The school relocated midyear 1970 to the present day site, of the Marthin Luther Highschool near |Ã#Gomes.

It is at this school that Cde. Hon. //Hoëbeb a together with his counterparts inspired and motivated me and most learners to end up being the individuals that we are today.

As destiny would have it, I was distinctly privileged to be part of the cohort of Namibians who were heavily involved in the struggle for the total liberation of our Motherland which eventually culminated with the independence of Namibia on the 21st March 1990. Cde Hon //Hoëbeb played crucial roles in both pre and post independence development of the Namibian population. He is a decorated Veteran of the Liberation Struggle and deserving of any accolades coming his way like any other citizen of the similar pedigree.

In my humble opinion the appeal lodge with the City of Windhoek to rename the Rand Straat in Khomasdal to Josua //Hoëbeb Street, is perfectly consistent with honours bestowed upon individuals of similar stature of which there are evidence in abundance.

I fully support the decision to petition the City of Windhoek accordingly.

Best regards

Alpheus G Inaruseb

[Handwritten signature]
2025/09/18

MABELLA FIE 37 RIKA CUPIDO

Erf. 4735 Hans Dietrich-Genscher Street
Khomasdal
Windhoek
Email: mfcupido@iway.na

19 September 2025

Mr. Moses Matyayi
Chief Executive Officer
City of Windhoek



Dear Sir

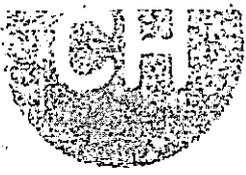
RE: REQUEST TO RENAME RAND STREET, KHOMASDAL TO RETIRED AMBASSADOR JOSUA //HOEBEB STREET.

I wish to give my full support to the petition by the family of Joshua //Hoebeb, to have the Rand Street in Khomasdal named after Ambassador //Hoebeb.
I have lived at #4735 Hans Dietrich Genscher Street in Khomasdal for the past 47 years.

I agree with the proposal and I endorse the motivation by Mr. Alan Weiko.

I have worked together with Joshua //Hoebeb during our campaigns for the liberation of Namibia. His immense contribution spans across political and ethnic boundaries.
As an educator and social activist, he moulded the youth of the time into becoming the leaders of today through education and awareness that they will have a roll, to play in an independent Namibia.


Your respectfully,
(Mrs) Mabela Cupido
Tel no: +264 81 313 0521



FROM: ...

To: ...³⁸...@alc....

Today at 5:04 AM

Street name change

Dear Mr. Weiko, your public notice refers.

I, Alfred David Dowie, fully support your request for the renaming of Rand Street. However, I wish to see it without the Ambassador, eg. Sam Nujoma Drive, Nelson Mandela Avenue, Robert Mugabe Drive.

Best regards

Allen Dowie

+264 81 124 0235

A. D. Dowie

P.O. Box 10245 Khomasdal 10011
Republic of Namibia

+264 65 231786 / 081 124 0235
alan@cheetah.com.na

22 September 2025

The Chief Executive Officer
City of Windhoek
P O Box 59
WINDHOEK



STREET NAME CHANGE APPLICATION.

Kindly note that I, Alfred David Dowie, fully support the proposed name change of Rand Street to Josua //Hoebeb Street.

Yours sincerely.

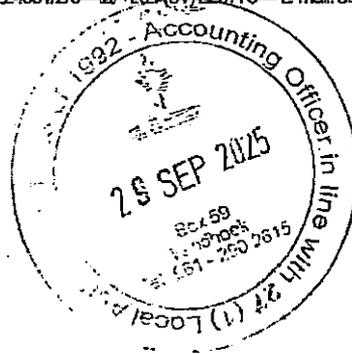
A. D. Dowie



EVANGELICAL LUTHERAN CHURCH IN THE REPUBLIC OF NAMIBIA
 EVANGELIES LUTHERSE KERK IN DIE REPUBLIEK VAN NAMIBIË
 !Gäi=hõa Kerkib Lutheri õib Namibiab Ina - Ongerki jEvangeli ja Luther mu Namibia

OFFICE OF THE BISHOP

☒ 6069 Windhoek — ☎ +264 (61) 224531/2/3 — 📠 +264 (61) 226775 — E-mail: abrahamkheibeb@gmail.com



15 September 2025

Office of the Chief Executive Officer
 City of Windhoek
 Cnr. Garden & 9 Independence Ave
 Windhoek

Dear Mr. Moses Matyayi

It's my great pleasure to provide this letter of recommendation for retired ambassador Josua //Hoebeeb. I have known Ambassador Josua //Hoebeeb whom I address as "Meester" for over 30 years. He has been an activist for the liberation struggle before independence and has played a very important role in the Evangelical Lutheran Church in the Republic of Namibia.

Meester played remarkable role as educator transforming and mentoring many young individuals who are now respectable leaders during the post-independence era while serving at the Martin Luther High School.

Ambassador Josua //Hoebeeb always impressed me with his intellectual curiosity, passion for global cultures, and adventurous spirit. Given his background in helping shape the independent Namibia and the contributions he has made to this country, I'm confident that he deserves recognition and he be honored by having Rand Street changed to Josua //Hoebeeb Street. Let us celebrate our national heroes for their achievements.

Hope you find this in good faith
 Your brother in the Service of the Lord

Pastor Abraham //Kheibeb
 ELCRN Deputy Bishop





Office of the Secretary General

16 September 2025

City of Windhoek
The Honourable Mayor
P O Box 59
Namibia

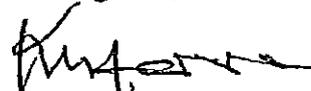


APPLICATION TO RENAME RAND STREET IN KHOMASDAL IN HONOUR OF RETIRED AMBASSADOR JOSHUA //HOEBEB.

It is with profound interest and enthusiasm that we are writing this letter to your Institution for the above-mentioned request. The SWAPO Party is hereby requesting your good office to rename Rand Street in Khomasdal in honour of retired Ambassador Joshua //Hoebeb:

Historical background of Ambassador (Rtd) Joshua //Hoebeb is attached for ease reference.

Kind regards,


Konrad Sitarara
Director of Administration

SWAPO PARTY
OFFICE OF THE SECRETARY
GENERAL
PO BOX 1071
WINDHOEK 8000



**List of immediate properties to be consulted
Rand Street, Khomasdal**

(starting from the c/o Hans-Genschler Dietrich and Rand Streets, left-sided properties)

No. of Erven	Street Name	Erf No.	Zoning	Township	Name of the Owner/ Business/ Occupant	Supported/ Not Supported	Signature	Contact
1	c/o Hans-Genschler Dietrich and Rand Streets	4101	Residential	Khomasdal	Walter J. Feris	YES	[Signature]	0811807007
2	Rand Street	4100	Residential	Khomasdal	Graham J. Kuhn	YES	[Signature]	0812862273
3	Rand Street	4099	Residential	Khomasdal	S. Van der Westhuizen	NO	[Signature]	0812026800
4	Rand Street	4098	Residential	Khomasdal	A. G. G. G.	NO	[Signature]	081149610
5	Rand Street	4097	Residential	Khomasdal	* Karen Kowenig	YES	[Signature]	0812691880
6	Rand Street	4096	Residential	Khomasdal	JACKY MAMBOJWA	YES	[Signature]	081239611
7	c/o Angeller and Rand Streets	4095	Residential	Khomasdal				
8	c/o Angeller and Rand Streets	4088	Residential	Khomasdal	Stefanus BARNHARTS	YES	[Signature]	0811767032
9	Rand Street	4094	Residential	Khomasdal				
10	Rand Street	RE/4231	Public Open Space	Khomasdal				
11	Rand Street	6601	Residential	Khomasdal	Gordon G. G.	YES	[Signature]	0819090065
12	Rand Street	4086	Residential	Khomasdal	TAMARA REUBEN/ROUHI	YES	[Signature]	0812284111
13	Rand Street	4085	Residential	Khomasdal	Indinda Makouch	YES	[Signature]	0811147824
14	Rand Street	4084	Institutional	Khomasdal	Sandra Hanse	YES	[Signature]	0813090071
15	Rand Street	4083	Residential	Khomasdal	P.L. Sth Konga	YES	[Signature]	0812005710
16	Rand Street	4082	Residential	Khomasdal	Venkatesh Kanjora	YES	[Signature]	0814113387
17	Rand Street	4081	Residential	Khomasdal	Sandra Sibete	YES	[Signature]	0854771824
18	c/o Jasmyne and Rand Streets	RE/4231	Public Open Space	Khomasdal				
19	c/o Jasmyne and Rand Streets; c/o Mahatma Gandhi and Rand Streets	4230	Public Open Space	Khomasdal				
20	c/o Mahatma Gandhi and Rand Streets; c/o Isabella and Rand Streets	4239	Institutional	Khomasdal				
21	c/o Isabella and Rand Streets; c/o Hanekam and Rand Streets	4228	Residential	Khomasdal				
22	c/o Hanekam and Rand Streets	3925	Residential	Khomasdal	KOSANA Nikule	YES	[Signature]	081266662
23	Rand Street	3924	Residential	Khomasdal	MICHAEL MABUC	YES	[Signature]	0811666611
24	Rand Street	3923	Residential	Khomasdal		YES	[Signature]	0857871611
25	Rand Street	3922	Residential	Khomasdal	S. G. G.	YES	[Signature]	0812766611
26	Rand Street	3921	Residential	Khomasdal	ANANDA OPILO	YES	[Signature]	081214445
27	Rand Street	3920	Residential	Khomasdal	Zachary VAN DER BERG	YES	[Signature]	0818610003
28	Rand Street	3919	Residential	Khomasdal		YES	[Signature]	0813980678
29	Rand Street	3918	Residential	Khomasdal	E.N. HINDI	YES	[Signature]	0814324866
30	Rand Street	3917	Residential	Khomasdal	Ligand Njalandra	YES	[Signature]	0813423442
31	Rand Street	3916	Residential	Khomasdal				
32	Rand Street	3915	Residential	Khomasdal	MARCO DEITE	YES	[Signature]	0812422715
33	Rand Street	3914	Residential	Khomasdal	M. G. G.	YES	[Signature]	0811078337
34	Rand Street	3913	Residential	Khomasdal	C. G. G.	NO	[Signature]	0812873015
35	Rand Street	3912	Residential	Khomasdal	J. L. G.	YES	[Signature]	0811403633
36	Rand Street	3911	Residential	Khomasdal	Peter de Wae	YES	[Signature]	0812699784
37	c/o Shanghai and Rand Streets	3910	Residential	Khomasdal	S. G. G.	YES	[Signature]	08114618353
38	c/o Shanghai and Rand Streets	RE/3830	Public Open Space	Khomasdal				
39	c/o Tsukhoe //Gowases and Rand Streets	6208	Institutional	Khomasdal	PAULUS SCHUB	YES	[Signature]	0812515555
40	c/o Tsukhoe //Gowases and Rand Streets	3044	Residential	Khomasdal	Morgan Laitu	YES	[Signature]	081360576
41	Rand Street	3043	Residential	Khomasdal				
42	Rand Street	3042	Residential	Khomasdal	Ndeshi Phetu	YES	[Signature]	0812533294
43	Rand Street	3041	Residential	Khomasdal	K. G. G.	YES	[Signature]	0811469217
44	Rand Street	3040	Residential	Khomasdal	A. G. G.	YES	[Signature]	08133531
45	Rand Street	3039	Residential	Khomasdal	P. S. G.	YES	[Signature]	0817672071
46	Rand Street	3038	Residential	Khomasdal	S. G. G.	NO	[Signature]	0816661407

No. of Erven	Street Name	Erf No.	Zoning	Township	Name of the Owner/ Business/ Occupant	Supported/Not Supported	Signature	Contact
47	Rand Street	3097	Residential	Khomasdal	Rehly E. LINDEN	Yes	[Signature]	0812296124
48	Rand Street	3036	Residential	Khomasdal	Ronel Leedaks	Yes	[Signature]	0813692181
49	Rand Street	3035	Residential	Khomasdal	AMY	Yes	[Signature]	0812165888
50	Rand Street	3034	Residential	Khomasdal	Jekia Kulya	Yes	[Signature]	0812546323
51	Rand Street	3033	Residential	Khomasdal				
52	Rand Street	3032	Residential	Khomasdal	ANITA GITHA	Yes	[Signature]	0812452244
53	Rand Street	3031	Residential	Khomasdal	Peter MUKUNGA	Yes	[Signature]	0811684464
54	Rand Street	3029	Residential	Khomasdal	IRON GUSWA	Yes	[Signature]	0812411154
55	Rand Street	3028	Residential	Khomasdal	ROSEMARY MATHA	Yes	[Signature]	0811617229
56	c/o Roos and Rand Streets	3027	Residential	Khomasdal	B. S. TRACUS	Yes	[Signature]	0812775278
57	c/o Roos and Rand Streets	2983	Public Open Space	Khomasdal				
58	Rand Street	2982	Public Open Space	Khomasdal				
59	c/o Petunia and Rand Streets	2981	Residential	Khomasdal	Edelgard MURANGI	Yes	[Signature]	0814527483
60	c/o Petunia and Rand Streets	2965	Residential	Khomasdal	Simpson SINDORO	Yes	[Signature]	0811654407
61	Rand Street	2964	Residential	Khomasdal	Nathan AMIKOR	Yes	[Signature]	0813506844
62	Rand Street	2963	Residential	Khomasdal	K. DANIEL	Yes	[Signature]	0812497501
63	Rand Street	2962	Residential	Khomasdal	KARLO KATE	Yes	[Signature]	08125201002
64	Rand Street	2961	Residential	Khomasdal	CLAYTON	Yes	[Signature]	0812548774
65	Rand Street	2960	Residential	Khomasdal				
66	Rand Street	2959	Residential	Khomasdal	Nestor NAMBALA	Yes	[Signature]	08116440130
67	Rand Street	2958	Residential	Khomasdal	Henrick HAUFIKU	Yes	[Signature]	0812569155
68	Rand Street	2957	Residential	Khomasdal	Kleopas KINSPIRE	Yes	[Signature]	0813499235
69	Rand Street	2956	Residential	Khomasdal	ELWI ANON	Yes	[Signature]	0812562658
70	Rand Street	2955	Residential	Khomasdal	DI. GUY GUSWA	Yes	[Signature]	0812562658
71	Rand Street	2954	Residential	Khomasdal	Annalie DI LOBE	Yes	[Signature]	0812562658
72	Rand Street	2953	Residential	Khomasdal	Edwina K. NITTE	Yes	[Signature]	0812222658
73	Rand Street	2952	Residential	Khomasdal	ALBA NGULU	Yes	[Signature]	0816514344
74	Rand Street	2951	Residential	Khomasdal	Max KANHU	Yes	[Signature]	0812562658
75	c/o Florence Nightingale and Rand Streets	1413	Public Open Space	Khomasdal				
(starting from the c/o Florence Nightingale and Rand Streets, left-sided properties)								
76	c/o Florence Nightingale and Rand Streets	1497	Public Open Space	Khomasdal				
77	Rand Street	8450	Public Open Space	Khomasdal				
78	Rand Street	8449	Public Open Space	Khomasdal				
79	c/o Shanghai and Rand Streets	8448	Public Open Space	Khomasdal				
80	c/o Shanghai and Rand Streets; c/o Mahatma Ghandi and Rand Streets	RE/8447	Public Open Space	Khomasdal				
81	c/o Mahatma Ghandi and Rand Streets	RE/1178	Institutional	Khomasdal				
82	Rand Street	3435	Institutional	Khomasdal				
83	c/o Hans-Genscher Dietrich and Rand Streets	180/8/31	Public Open Space	Khomasdal				
84	Rand Street	3020		Khomasdal	Ruben SHINDI	Yes	[Signature]	0812099551
85	Rand Street			Khomasdal				
86	Rand Street			Khomasdal				
87	Rand Street			Khomasdal				
88	Rand Street			Khomasdal				
89	Rand Street			Khomasdal				
90	Rand Street			Khomasdal				
91	Rand Street			Khomasdal				

18 September 2025

Mr. Moses Matyayi
 Chief Executive Officer
 City of Windhoek
 Windhoek



Dear Mr. Moses Matyayi

Subject: Challenges faced during the Door-Door Petitioning Renaming Rand Street, Khomasdal in Honour of Retired Ambassador Josua //Hoëbeb

We once again appreciate the opportunity that your kind office accorded us the family of retired Ambassador Josua //Hoëbeb and your prompt assistance with the process in proposing for the renaming of Rand Street, Khomasdal in his honour.

We must admit that it was indeed an experience and wish to bring the challenges that we faced during the Door-Door petitioning with the immediate users of Rand Street.

Although that the Majority welcomed us; as we introduced ourselves by full name, explaining the purpose of our visit and after fruitful convincing got their respective "YES" not everyone was immediately available and we managed after several trips to get their consents;

1. **3. Erf 4100 (Mr. G. Van der Westhuizen)**, indicated "NO"; reasoning that he was also previously against the renaming of the entire Rand Street of which portion of it known as Hans-Genscher Dietrich Street today. Mr. Van der Westhuizen also informed that the renaming will affect his business that he operates from home (*convenience shop*) and that he grows up in Rand Street and it will be hard for him to ease his consciences.
2. **4. Erf 4098 (Mr. Alister Coetzee)**, also indicated "NO"; he shared the same sentiments as Mr. Van der Westhuizen and also mentioned that there will be financial implications for him and his business interest should Rand Street be renamed.
3. **7. Erf 4095 (Ms. Florence Mupia)**, a teacher by profession at M.H Greef Primary School in Khomasdal could not be reach on several attempts when we visited her resident and was informed by a tenant who also gave us her cellphone number that they could also not get hold of her. However, we managed to get her address of work and the principal informed that she is on medical leave. Please see the attached letter from the school principal.
4. **9. Erf 4094 Unoccupied Riverbed - Public Open Space.**

14. 21. Erf 4228; Electrical Substation located on Unoccupied Public Open Space;
15. 22. Erf 3925; Unoccupied Public Open Space;
16. 38. RE/3830; Unoccupied Riverbed - Public Open Space;
17. 57. Erf 2983; Unoccupied Riverbed – Public Open Space;
18. 58. Erf 2982; Unoccupied Riverbed – Public Open Space;
19. 75. Erf 1413; Unoccupied Public Open Space;
20. 76. Erf 1497; Unoccupied Public Open Space;
21. 77. Erf 8450; Unoccupied Public Open Space;
22. 78. Erf 8449; Unoccupied Public Open Space;
23. 79. Erf 8448; Unoccupied Public Open Space;
24. 80. RE/8447; Unoccupied Public Open Space;
25. 81. RE/1178, Namibia Training Authority, Mr. Erick Fendula Nenghwanya (*CEO*), in correctly signed off on 18. RE/4231;
26. 83. 180/8/31 Erf 4824; Unoccupied Public Open Space.

The exercise to engage the community and institutions was an awesome and emaciated experience, something that one can only relate to, once you have gone through this process. Regardless of receiving a "Yes" or "No" what is important to have their concerns heard in hoping that they are being address accordingly.

Sincerely yours,



Mr. Allan Weiko (Family Representative)

On behalf of the Family of Ambassador Josua//Hoëbeb

Tel: +264 851270700

Email: allan@alc.com.na

**CONSULTING SERVICES FOR THE PROCUREMENT OF ROOF
ASSESSMENT SERVICES FOR POSSIBLE SOLAR PV
INSTALLATIONS Procurement Reference No. SC/RP/COW-
03/2024**



PREPARED FOR:



Project Manager: Electricity Department
Mundilo (JM) Joseph.Mundilo@windhoekcc.org.na

MUNICIPAL COUNCIL OF WINDHOEK

Box 59 – 80 Independence Avenue, WINDHOEK, NAMIBIA – Tel: (+264) 61 290 2270

PREPARED BY:

GSFA- J Roeber & Team GS Fainsinger & Associates Consulting Engineers

Date: 11/09/2024

REF: SC/RP/COW-03/2024

-BY EMAIL-

Leter of Award

(Section 55(4) of the Act)

**RE: SC/RP/COW-03/2024 – Provision of consultancy services for the procurement
of roof assessment services for possible solar PV installations.**

This document(s):

20200325 - Report 03 CoW RoofTop PVEG 20251014 Final R4.docx



G.S. FAININGER & ASSOCIATES consulting engineers

GS Fainsinger & Associates Consulting Engineers • PO Box 2142 • 32 Bismarck Street • Windhoek
Namibia • Tel: +264 61 235 165 • Fax: +264 61 235 166 • E-mail: gsfa@gsfa.com.na

Table of Contents

List of Tables	4
List of Figures	5
Approval.....	6
Nomenclature	6
Executive summary	7
1. Project timeline	9
2. Project requirements.....	9
3. PV system capacities.....	10
4. Site Clarification and Preliminary Design Approach.....	10
4.1 Conceptual design.....	11
4.1.1 Roof assessment.....	16
4.2 Preliminary Design	19
4.2.1 Shading analysis.....	21
5. Financial Assessment.....	25
5.1 COW Head Office Economic Indicators	25
5.2 COW EE Department Economic Indicators.....	27
5.3 COW RAMATEX Economic Indicators	30
6. Conclusion and Recommendation.....	31
7. Appendices	32
APPENDIX A: GLINT & GLARE	32
1. Glint and Glare background.....	32
1.1. Glint and Glare Analysis for PV Array Placement	32
1.2. Sites Analyzed for Glint and Glare Impact	32
1.3. Results of Glint and Glare Analysis	32
2. Glint and Glare analysis	32
2.1. City of Windhoek Head Office	33
2.1.1. Component data – COW H.O.....	33
2.1.2. PV and Receptor analysis results – COW H.O.....	34
2.2. City of Windhoek Electrical Department	35
2.2.1. Component data – COW EE	35
2.2.2. PV and Receptor analysis results – COW EE.....	36
2.3. Ramatex (Rhino Garments).....	37

2.3.1. Component data – COW Ramatex..... 38

2.3.2. PV and Receptor analysis – COW Ramatex 39

APPENDIX B: Head Office Shading Report43

APPENDIX C: Electricity Department Shading Report.....43

APPENDIX D: Ramatex Shading Report.....43

APPENDIX E: Visual Inspection Report44

List of Tables

Table 1 Project timeline.....	9
Table 2 Proposed system rating	10
Table 3 COW ELECTRICAL DEPARTMENT.....	11
Table 4 COW HEAD OFFICE.....	12
Table 5 COW RAMATEX.....	13
Table 6 COW TRAFFIC LIGHTS.....	14
Table 7 COW ARCHITECTURE	15
Table 8 CONSTRUCTION COST.....	19
Table 9 COW HEAD OFFICE SITE CAPACITIES	20
Table 10 COW ELECTRICAL DEPARTMENT SITE CAPACITIES	20
Table 11 ECONOMIC INDICATORS HEAD OFFICE	26
Table 12 RECOMMENDED SYSTEM HEAD OFFICE.....	26
Table 13 CASHFLOW HEAD OFFICE	27
Table 14 ECONOMIC INDICATORS ELECTRICAL DEPARTMENT	28
Table 15 ECONOMIC INDICATORS COW EE DEPARTMENT	28
Table 16 EE COW SYSTEM OPTION 1 CASHFLOW	29
Table 17 EE COW OPTION 2 CASHFLOW	29
Table 18 EE COW SYSTEM OPTION 1.....	29
Table 19 EE COW SYSTEM OPTION 2.....	29
Table 20 RAMATEX Economic Indicators	30
Table 21 RAMATEX Cashflow	30

List of Figures

Figure 1 COW ELECTRICAL DEPARTMENT	12
Figure 2 COW HEAD OFFICE	13
Figure 3 COW TRAFFIC LIGHTS	15
Figure 4 COW ARCHITECTURE	16
Figure 5 COW ELECTRICAL DEPARTMENT SELECTED ROOFS	16
Figure 6 COW HEAD OFFICE SELECTED ROOFS.....	17
Figure 7 COW RAMATEX SITE	17
Figure 8 COW HO Shading	22
Figure 9 COW EE Shading	23
Figure 10 RAMATEX Shading	24
Figure 11 COW HEAD OFFICE LOAD PROFILE	26
Figure 12 COW EE DEPARTMENT LOAD PROFILE	27
Figure 13. CoW Head Office Parking PV Array	33
Figure 14. COW Head Office Parking PV footprint	34
Figure 15. Route receptor (Sam Nujoma Drive)	34
Figure 16. Discrete Observation Receptors Points 1 and 2	34
Figure 17. Summary of PV Glare analysis (Head Office).....	35
Figure 18. Summary of receptor point and route analysis (Head office)	35
Figure 19. COW Electrical Department	35
Figure 20. COW Electrical Department PV foot print	36
Figure 21. Route to COW Electrical Department.....	36
Figure 22. Discrete observation receptor COW EE.....	36
Figure 23. Summary of PV array analysis (COW Electrical Department)	37
Figure 24. Summary of receptor poin and route analysis COW EE	37
Figure 25. COW Ramatex building.....	38
Figure 26. Ramatex PV array foot print	39
Figure 27. Ramatex flight rout.....	39
Figure 28. Summary of PV array analysis	39
Figure 29. Distinct glare per month on Ramatex flight route	39
Figure 30. Graphical Glare analysis for Ramatex PV array and Flight point.....	39

Approval

Progress Report- Approved with ___/ without ___ comments

Comments for consideration/revision: please enclosed and/or comment as provided

For NEXT STEP implementation

To be issued with next progress meeting, - progress tracking

Signed

CLIENT _____

Name, Signature, Date

Nomenclature

TOR – Terms of Reference

COW – City of Windhoek

PVEG – Photovoltaic Embedded Generator

MSBM – Modified Single Buyer Model

TSRF - Total Solar Resource Fraction

HO – Head Office

EE – Electrical Engineering

IT – Information Technology

SANS – South African National Standards

kg/m² - kilograms per square meter

kWp – kilowatt power

kVA – Kilovolt-ampere

MW – Mega Watt

ROI

IRR – Internal Rate of return

p.a. – per annum

Executive summary

The City of Windhoek (COW) Electricity Department commissioned a feasibility study to evaluate the implementation of Photovoltaic Embedded Generation (PVEG) systems across selected municipal facilities. The project aimed to enhance the city's energy sustainability, reduce operational electricity costs, and take advantage of Net Metering legislation by integrating renewable generation capacity into COW's existing internal electricity network. Three key sites were identified for assessment, namely the COW Electricity Department (EE), the COW Head Office (HO), and RAMATEX, with the project focusing on determining the most technically feasible and financially viable solar PV system configurations for each.

The structural assessment involved site inspections carried out on 7 May 2025 at the EE and HO facilities and on 13 May 2025 at the RAMATEX site. Each roof was analyzed in accordance with SANS 10160-3:2011, considering live loads, wind actions, and the additional weight of solar panels estimated at 15 kg/m². The findings revealed that the EE and HO roofs are structurally sound and capable of supporting rooftop PV systems, whereas the RAMATEX roof exhibited poor structural integrity and would require significant refurbishment to accommodate any solar installation.

Regarding system sizing and capacity estimation, solar PV simulations were conducted using Helioscope, supported by on-site data collection. At the COW Electricity Department, a compliant rooftop capacity of 84kWp was established, with a recommended installation size of 80kWp distributed across the IT, Main, and Revenue Protection buildings. Additionally, the installation of carport-mounted PV systems could provide a further 61kWp capacity for future expansion. At the COW Head Office, a combined rooftop capacity of 283kWp was identified, with potential to increase to 643kWp through the integration of carport structures. However, in accordance with Net Metering regulations, a system capacity of 500kWp is recommended, particularly in view of parking renovations. In contrast, the RAMATEX site has an estimated potential capacity of 1.6 MW, but due to its weak roof structure, it is not suitable for rooftop PV installation in its current form.

A glint and glare study was also undertaken to assess possible reflection hazards to nearby structures, roadways, and flight paths. The results indicated that the EE and HO sites present no significant glare risks, while the RAMATEX site showed minor "green glare" which poses no danger to aircraft or surrounding areas.

The financial feasibility and payback analysis compared several system options to evaluate return on investment (ROI) and economic viability. For the CoW Electricity Department, the recommended 80 kWp system yields an internal rate of return (IRR) of 21% with a payback period of 5.94 years, while a larger 145 kWp option would improve returns to an IRR of 26% and reduce payback to 4.53 years; however, the latter poses a risk of oversizing relative to current demand. For the CoW Head Office, a 500 kWp system demonstrates an IRR of 21% with a payback period of approximately 5.83 years, making it financially attractive and compliant with policy limits. The RAMATEX facility, on the other hand, would require roof refurbishment estimated at N\$ 88,163,595.00, bringing total project costs to over N\$ 100 million with a projected 16-year payback period, rendering the project economically infeasible.

In terms of risks and implementation considerations, the RAMATEX site is vulnerable to theft and vandalism, necessitating enhanced security measures should any future PV development be pursued there. Additionally, oversizing at the CoW Electricity Department could result in generation exceeding demand; therefore, any expansion beyond 80 kWp should only proceed under a ring-fenced arrangement to manage energy export risks and maintain compliance with regulatory requirements.

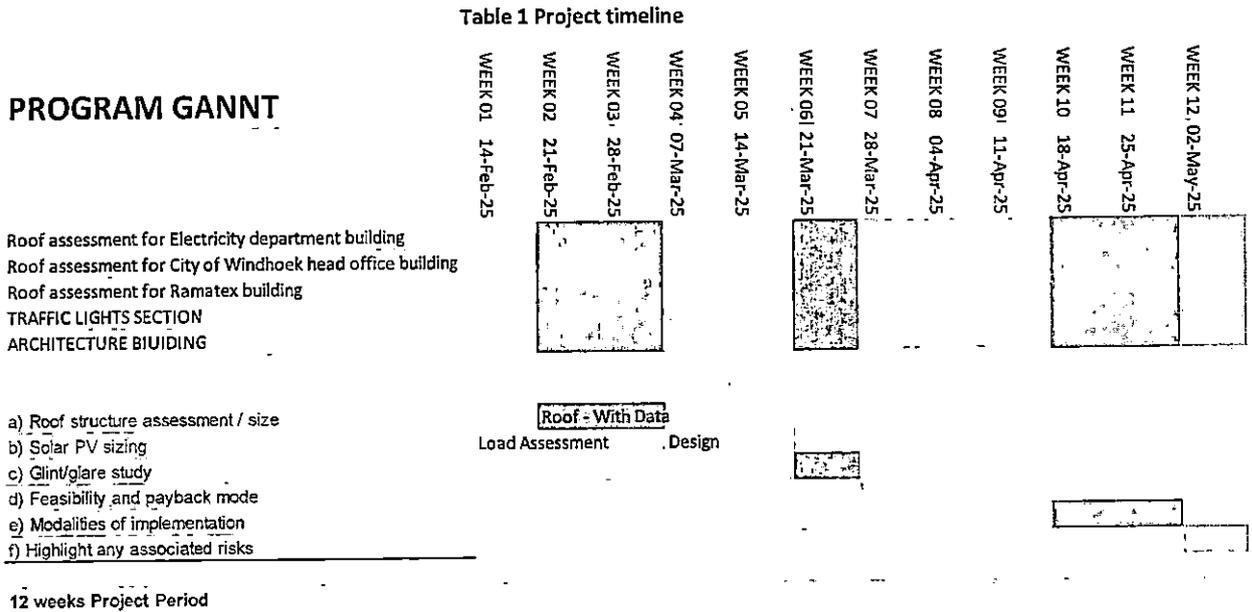
In conclusion, the feasibility study confirms that rooftop PV implementation at the CoW Electricity Department and Head Office is both technically feasible and financially sound, with projected payback periods within six years. These installations are well aligned with CoW's sustainability and energy efficiency objectives. Conversely, the RAMATEX facility is not recommended for rooftop PV integration due to structural deficiencies and excessive refurbishment costs. To achieve larger generation capacities, such as the targeted 1.6 MW, CoW is encouraged to explore ground-mounted solar PV installations. These systems offer a significantly lower estimated capital expenditure of around N\$ 30 million, while also allowing scalability under the Modified Single Buyer (MSB) model depending on land availability.

In summary, it is recommended that the City of Windhoek proceed with rooftop PVEG implementation at the EE and HO sites, exclude RAMATEX from rooftop PV consideration, and investigate ground-mounted solar alternatives to expand capacity in a cost-effective and sustainable manner.



1. Project timeline^[S2]

The program was structured in alignment with the first meeting, as outlined in Table 1, with the expected completion date set for May 2025. Table 1 provides a detailed overview of the key milestones and timelines for the project.



2. Project requirements^[S3]

The expectations City of Windhoek had from the consultants were as follows (As per the TOR):

1. Roof Structure Assessment to determine the available space area for the Solar PV Installation and to determine if there are any structural change needed. **COMPLETED**
2. Solar PV sizing and Capacity estimate. **COMPLETED**
3. Glint/Glare study due to the total area occupied by the Solar PV Plant. **COMPLETED**
4. Feasibility and Pay Back Model - This is to include the estimated cost of each Solar PV Plant for the site. **COMPLETED**^[S4]
5. Modalities of the implementation of the Solar PV installation. **COMPLETED**
6. Highlight any risk and factors to consider before implementation. **COMPLETED**

3. PV system capacities^[S5]

The assessment considered both compliant and non-compliant structures to evaluate the feasibility of matching the current load demands with Solar PV Embedded Generation (PVEG). The electrical needs of various buildings as depicted in Table 2, along with their declared capacities, were thoroughly reviewed. This process was informed primarily by the load profiles provided by the City of Windhoek (COW) and the breaker sizes. Based on this analysis, the system capacity was determined at an average value.

For the PV EG with a default conventional installation, it is to be accommodated under NET^[S6] metering for capacities up to 500 kWp. RAMATEX is to be accommodated under MSB M^[S7]odel subject to a comprehensive risk assessment and feasibility analysis.

Table 2 Proposed system rating^[F58]

Site	Existing Demand / Breaker size	NMD /	Design
		Capacity ^[S9] ^[F510]	capacity
		kWp	kWp
ELECTRICITY DEPARTMENT	76 kVA	76	80
COW HEAD OFFICE	449 kVA	449	500
TRAFFIC LIGHTS SECTION	3x70A	50	50
ARCHITECTURE BUILDING	3x30A	20	20
	449 kVA – Change to MAX >		
RAMATEX (internal)	1000kVA	449	500

4. Site Clarification and Preliminary Design Approach

The following clarifications were provided by the City of Windhoek regarding existing electrical connections and requirements at the identified sites of interest:

- **Electricity Department, Head Office and Rhino Garment** are equipped with **Maximum Demand (MD) meters**, with declared demand values as specified by the COW (see Table 2):
- The **Architectural Department and Traffic Lights Section** are fitted with **conventional meters** rated at **60A (3-phase)** and **70A (3-phase)**, respectively.

According to the City of Windhoek (TOR):

- **Electricity Department & Traffic Lights, Head Office, Architectural Department, and Human Capital departments** were to be accommodated under **net metering rules**.

- Ramatex was to be accommodated under the **Modified Single Buyer Model (MSBM)** rules.

The areas identified for assessment were numbered and described using geolocated images shared via **Google Photos**. Consultants were also encouraged to identify and evaluate any additional feasible spaces within the designated areas that may have been overlooked.

4.1 Conceptual design

Using aerial imagery from the provided Google Photos, the consultant developed a conceptual design, which serves as a high-level preliminary layout and system sizing plan. A conceptual design typically includes system capacity estimates, general panel placement, and layout considerations, and is intended to guide further technical detailing after physical site inspections are conducted.

All maximum required capacity estimates were based on the nominal demand values supplied by the COW, with the exception of Ramatex, where the COW explicitly requested that the system be sized to the maximum capacity technically possible.

The capacity estimates per roof prior to site assessment for COW Electrical Engineering (EE) Department are shown in Table 3.

Table 3 COW ELECTRICAL DEPARTMENT

Order of Priority	Building	Capacity
1	Protection Storeroom	14kW
2	BIX IT TECH	20kW
3	Main Building side B (1)	50kW
4	Revenue Protection office A (3)	37kW
5	Construction Division (5)	24kW
6	Main Building side A (1)	40kW
Estimated Total across selected roof surfaces to be assessed		185kW
Required max capacity		80kW _{[S11][FS12][FS13]}

Figure 1 depicts the arial view of the buildings listed in TABLE for EE Department.



Figure 1 COW ELECTRICAL DEPARTMENT

The capacity estimates per roof prior to site assessment for COW Municipal Head Office (HO) are shown in Table 4.

Table 4 COW HEAD OFFICE

Priority	Building	Capacity
1	Parking (5)	310.2kW
2	Customer care building (2)	143kW
3	Finance & IT (3[s14])	93.5kW
4	New Building Townhouse A (4[s15][FS16][FS17])	124,3kW
5	Head Office Building (3[s18][FS19][FS20])	100.7kW
6	Function Hall Townhouse (4[s21])	42.9kW
Estimated Total across selected roof surfaces to be assessed		814,6kW
Required max capacity		500kW[s22][FS23][FS24]

Figure 2 depicts the arial view of the buildings listed in Table 4 for COW Municipal Head Office Department.

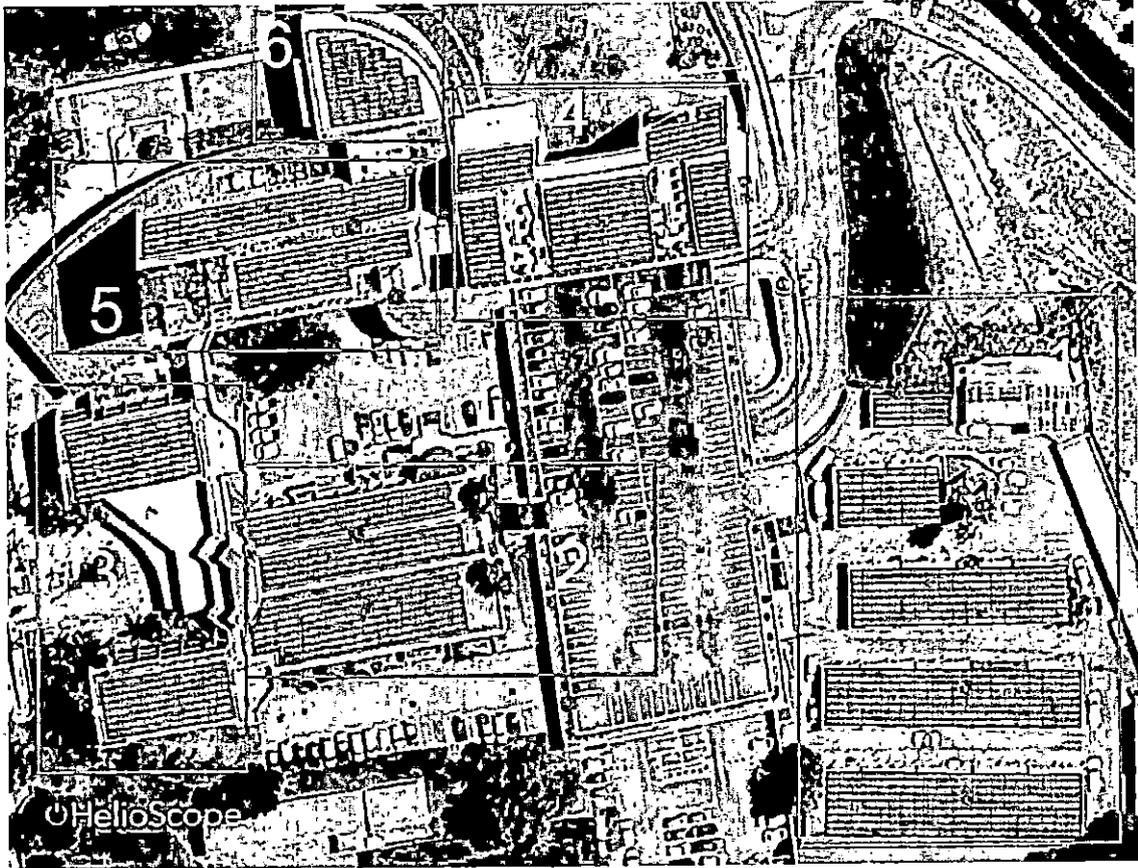


Figure 2 COW HEAD OFFICE

The capacity estimates per roof prior to site assessment for COW RAMATEX are shown in Table 5.

Table 5 COW RAMATEX

Priority	Building	Capacity
1	RAMATEX Rhino Garments MD (1)	1,799.1kW
Estimated Total across selected roof surfaces to be assessed		1,799.1kW
Required max capacity		Max Possible

Figure 3 depicts the arial view of the COW RAMATEX building listed in Table 5.

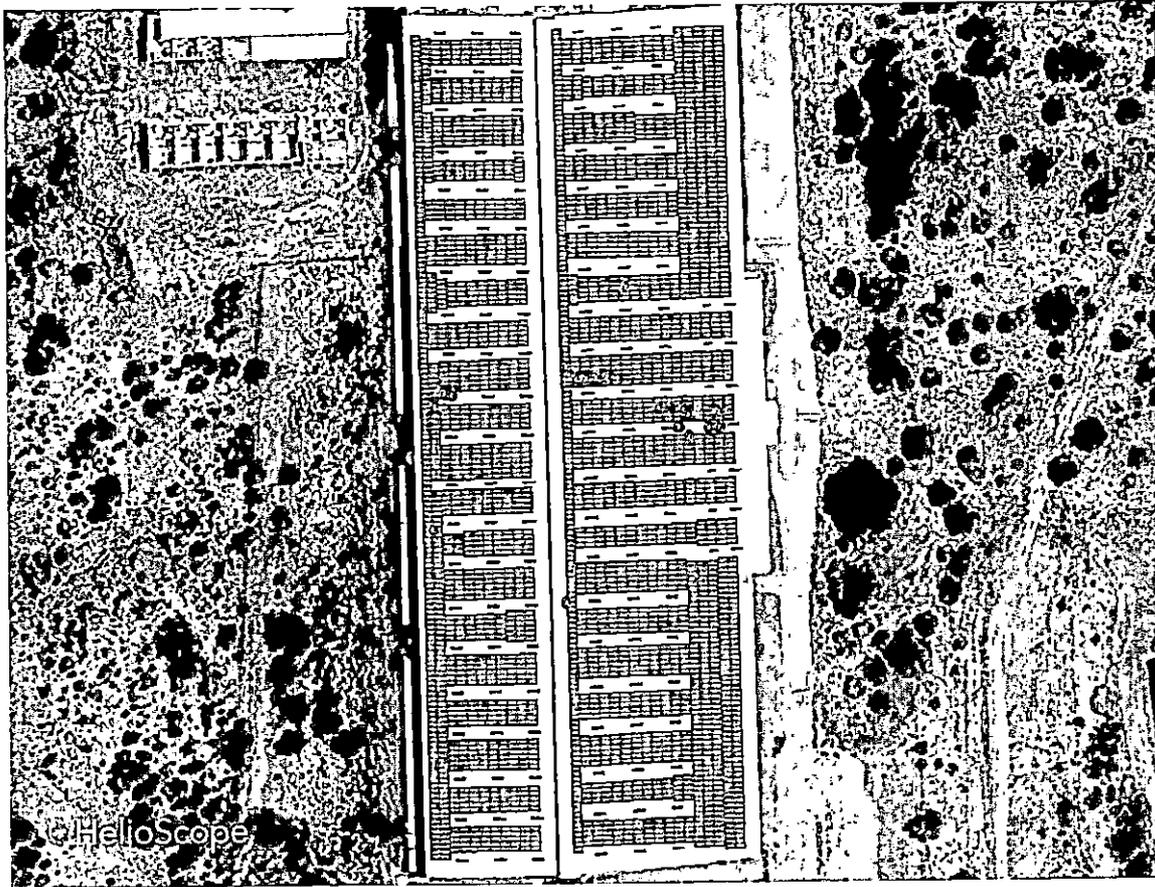


Figure 3 COW RAMATEX

The capacity estimates per roof prior to site assessment for COW Traffic lights are shown in Table 6.

Table 6 COW TRAFFIC LIGHTS

Priority	Building	Capacity
1	Traffic Lights building	17.6kW
Estimated Total across selected roof surfaces to be assessed		17.6kW
Approximate Required max capacity		45kW

Figure 4 depicts the arial view of the COW Traffic lights building listed in Table 6.



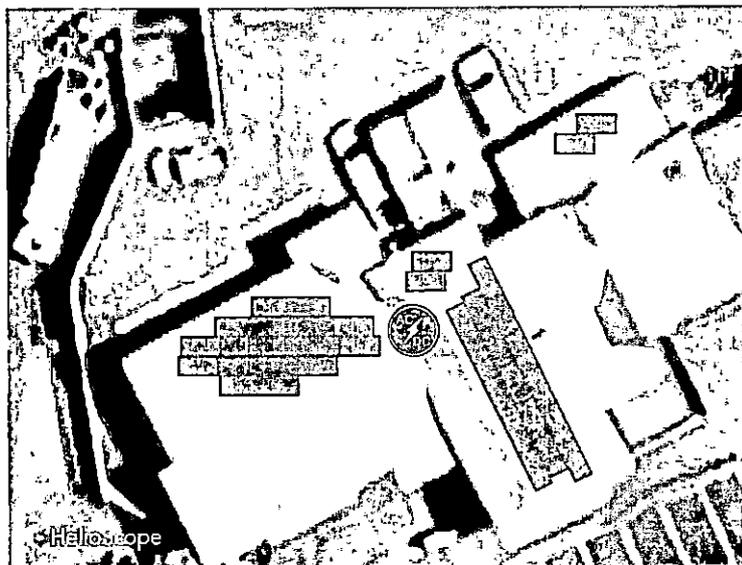
Figure 3 COW TRAFFIC LIGHTS

The capacity estimates per roof prior to site assessment for COW Architectural Building are shown in Table 7.

Table 7 COW ARCHITECTURE

Priority	Building	Capacity
1	Architecture Building	20.4kW
Estimated Total across selected roof surfaces to be assessed		20.4
Approximate Required max capacity		3 x 60A[s26]

Figure 5 depicts the arial view of the COW Architectural building listed in Table 7.



4.1.1 Roof assessment

The undersigned was appointed to investigate if the existing roof structures of the above-mentioned building[s27]s (section 4.1) would be structurally sound to support additional loads resulting from solar PV panels intended to be installed onto the existing roof covering. The solar panels will be installed flat, directly onto the roof sheeting with fixing brackets, with no additional loads from an inclined frame.

The different sites were visited by the undersigned on 7th May 2025 (Electrical Department & Head Office) and 13th May (Ramatex building), where the accessible and visible parts of all relevant roof construction with special attention to roof trusses/rafters, purlins, columns, and their respective connections were visually inspected. Additionally structural drawings were sourced where possible/available and taken into consideration. The images below show the roofs under consideration (A-L marked in red[s28]).

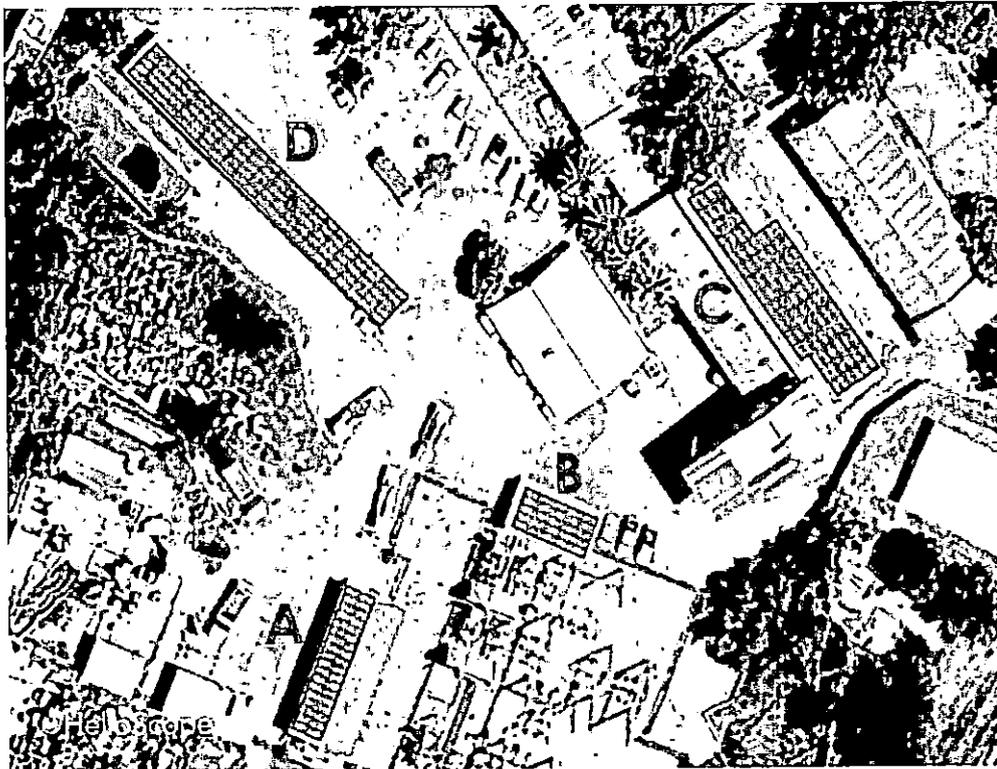


Figure 5 COW ELECTRICAL DEPARTMENT SELECTED ROOFS

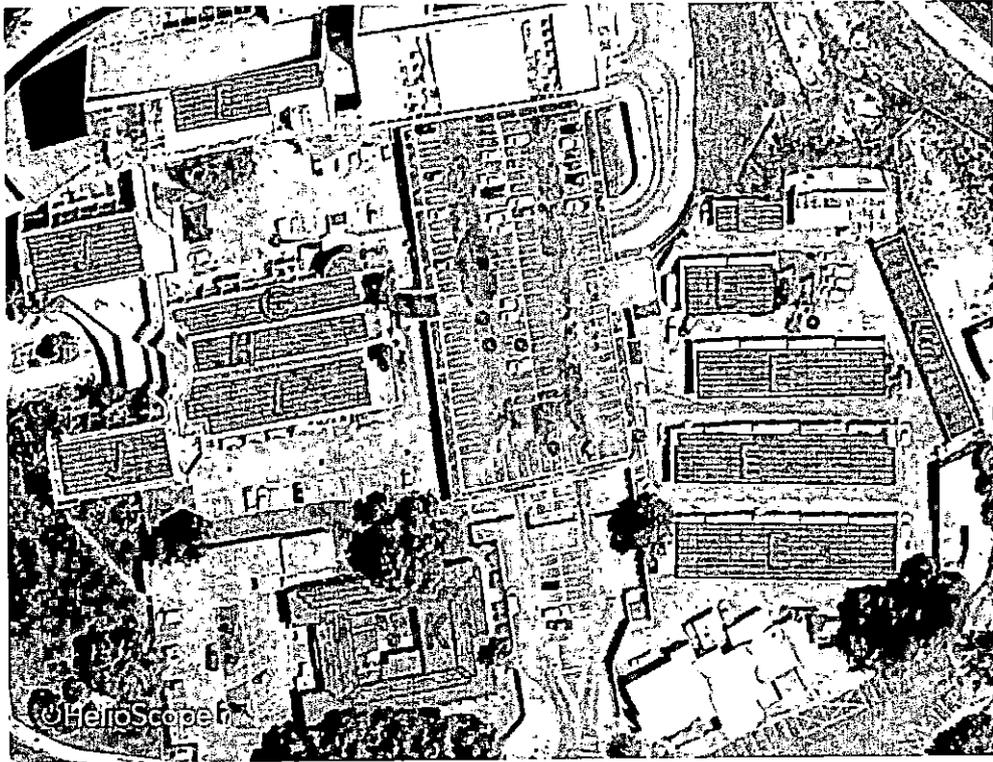


Figure 6 COW HEAD OFFICE SELECTED ROOFS

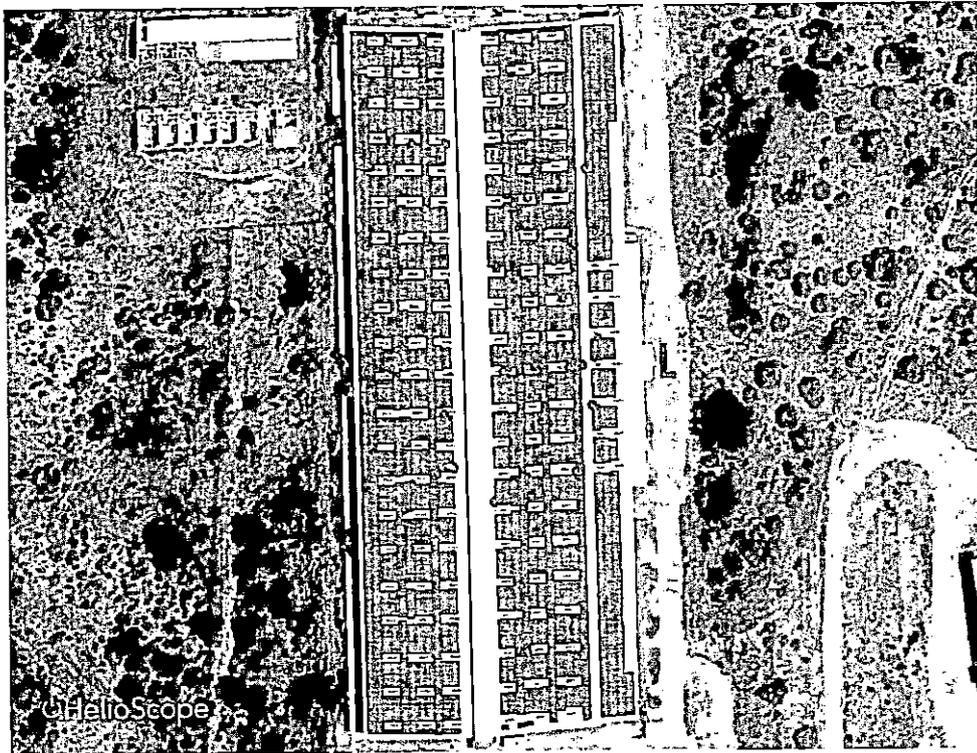


Figure 7 COW RAMATEX SITE

Based on the visual inspection, the roof structures were analysed considering the data recorded and with loads as set out below:

- Wind actions as per SANS 10160-3:2011[S29].
- Further applicable loading classified as live actions and the own weight of the structure, all as per the relevant SANS 10160.
- Weight of the additional solar panels implicated as 15.0 kg/m²

From the investigation and design calculation checks performed, the structural integrity of the roof purlins and structural frame could hereby be confirmed as structurally adequate in the **Ultimate Limit State (ULS)** and comply with the applicable minimum requirements all as set out in the relevant SANS codes of practice, for the following roofs:

- • Roof A
- • Roof B
- • Roof C
- • Roof F
- • Roof G
- • Roof H
- • Roof I
- • Roof J

It must be mentioned that the roof sheeting for Roofs B & C is fixed with old fashioned roof nails. In some areas[S30] the roof sheeting is not properly fixed to the roof structure and will have to be rectified / repaired prior to any solar installation.

Roof D & E does not comply to the relevant SANS codes of practice. To get these structures compliant might require extra columns supports, which will hamper the maneuverability of vehicles. It is therefore advised to remove the existing structures and plan new carport structures which incorporates the proposed new PV installation / solar panels. The estimated construction and design cost for the erection of completely new structures are provided in Table 8 below.

Roof K was not inspected since it is not deemed preferable / suitable for the proposed PV installation (due to erratic roof structure and shade from adjacent trees). Similarly for Architecture building Figure 4, the current roof structure is made up of several small, irregular sections oriented in various directions. This fragmented arrangement limits the amount of continuous, unobstructed space available for efficient solar PV installation. Additionally, some roof sections may cast shadows onto

others at different times of the day, reducing system performance and complicating the design layout. However, not to nullify the meter here from accommodating net metering hence the suggestion that, it may be necessary to explore alternative options, such as utilizing a portion of the nearby carport structure for the solar installation capped to the capacity of the Architecture Building maximum demand.

Roof L (Ramatex Building) was not designed and manufactured in Namibia or South Africa. The grade & quality of steel could not be confirmed to enable us to do the necessary design checks. In addition, no project or construction documentation and details were available for the structure. After the site inspection was done it was confirmed that the structure is prone to discomfit deflections. The roof sheeting does not seem to be locally supplied and is very thin. Roof screws were drilled to the inside of the trough of the sheeting to fix the sheeting to the purlins. This is also not good practice and is prone to leakages. With the available information at hand and the inspection done, we are of the opinion that this roof is not suitable to install solar panels. The estimated construction cost for the erection of completely new structure is also provided in Table 8. The RAMATEX structure requires renovation, but the associated cost is too high, making it unfit for purpose and warranting consideration of alternative upgrade options e.g. CARPORTS.

Table 8 CONSTRUCTION COST

TABLE 1: ESTIMATED CONSTRUCTION COST FOR THE ERECTION OF NEW STEEL STRUCTURES

Design and Reconstruction of Structures deemed Unfit for PV Installation (Excl. VAT)						
No.	Name and Location of Structures	Estimated Size of Current Structures (m ²)	Estimated Construction Rate (N\$/m ²)	Sub-Total: Estimated Construction Cost (N\$)	Government Gazetted Engineering Fees for Building Projects (N\$)	Total Estimated Cost (N\$)
1	D: Carport Structure at Electricity Department	440.00	1,920.00	844,800.00	114,034.60	958,834.60
2	E: Carport Structures at Head Office	2,409.00	1,920.00	4,625,280.00	504,481.12	5,129,761.12
3	L: Ramatex Structure	17,000.00	4,800.00	81,600,000.00	6,563,595.00	88,163,595.00
4	Totals			87,070,080.00	7,182,110.72	94,252,190.72

4.2 Preliminary Design

Following the roof inspection of the COW buildings, a preliminary design was developed based on the initial conceptual layout. A preliminary design is a more detailed and technically informed stage of planning that builds upon the conceptual design, incorporating site-specific data—such as structural assessments and shading analysis—to outline a practical and feasible system configuration. Most roofs were found to be compliant, with a few non-compliant structures identified as suitable for refurbishment to support solar panel installation. As the project progressed, COW emphasized the need to maximize installed capacity, particularly at the Head Office, while matters related to net metering or MSB model licensing were deferred for resolution at a later stage.

Table 9 is a summary of compliant and non compliant structures taken into account.

Table 9 COW HEAD OFFICE SITE CAPACITIES

Label	Description	Capacity (Compliant roof structures)	Capacity (Including non-compliant structures)
D	H.O Parking	-	360kW
E	Head Office Old BD	45.7kW	45.7kW
F	Customer care	149.7kW	149.7kW
I	Finance & IT	87kW	87kW
K	HR Building	-	78kW
Declared demand		449kVA	449kVA
Required Maximum		500kW	500kW
Maximum total across selected roofs		282.4kW	720.4kW
<p>Remark: As per the roofs depicted in Figure 6 Following the inspection, the total capacity from compliant roofs amounts to 282.4 kW, leaving a shortfall of 166.6 kW compared to 449kVA i.e. the declared demand^[531]. Incorporating carport structures and the HR building would offset this shortfall (HR is to be disregarded), resulting in a combined solar capacity exceeding the declared demand by 271.4 kW. However, the system must be limited to a size no greater than 15% below 500kW and integrated via net metering. This option would also require structural renovations as per the recommendations in Table 8. Additionally, the HR building is to be excluded from the installation scope due to major obstructions from nearby trees, which pose reduction to system performance and safety of panels, and likely costly maintenance. Compliant structures can be installed primarily then eventually the carports can be integrated at a later stage.</p>			

Table 10 is a summary of compliant and non compliant structures taken into account.

Table 10 COW ELECTRICAL DEPARTMENT SITE CAPACITIES

Label	Description	Capacity (compliant)	Capacity (including non-compliant structure)
A	IT Building	20kW	20kW
B	Revenue Protection Building	14kW	14kW
C	Main Building	50kW	50kW
D	EE Parking	-	61kW
Declared demand		76kVA	76kVA

Required Maximum	80kW	80kW
Maximum total across selected roofs	84kW	145kW
<p>Remark: As depicted in Figure 5, the combined capacity of all selected roofs, including noncompliant carports, amounts to 145 kW — with 61 kW from carports requiring refurbishment and 84 kW deriving from verified compliant roof structures. The solar system size should be optimized to a value not exceeding 15% below the declared 76kVA_[s32] and designed for integration under a net metering arrangement. Compliant structures can be installed primarily then eventually the carports can be integrated at a later stage.</p>		

4.2.1 Shading analysis

The objective of shading analysis was to evaluate potential shading impacts on the system's performance and to quantify the corresponding solar access and Total Solar Resource Fraction (TSRF) for each field segment. The analysis forms part of the preliminary design optimization and system performance estimation process. Note, all roofs compliant and non-compliant for solar installations as depicted in Figures 6, 7 and 8 summarized in tables 9 and 10 were included.

COW Head Office

At COW Head office, the analysis indicates an overall shading loss of approximately 0.2%, confirming that the selected installation areas are largely unobstructed and receive consistent solar irradiation throughout the year.

Average Total Solar Resource Fraction (TSRF) values exceed 96% for the majority of field segments, with solar access consistently above 97%, reflecting near-optimal exposure conditions. Field segments exhibiting slightly reduced TSRF values i.e. Finance & IT, Customer care and the Carwash parking (in the range of 85–90%) correspond to southern-facing segments largely attributed to orientation and localized obstruction but have minimal impact on total system yield.

The site records annual plane-of-array irradiance values between 2,200 and 2,530 kWh/m², which aligns with expectations for Windhoek's high solar potential. Considering system loss factors—predominantly temperature (10.4%), reflection (3.1%), mismatch (4.0%), and soiling (2.0%)—the system performance ratio remains within acceptable design parameters.

The shading assessment conducted for the COW Head Office proposed PV installation demonstrates excellent site suitability with minimal performance limitations due to shading (Details see APPENDIX B).

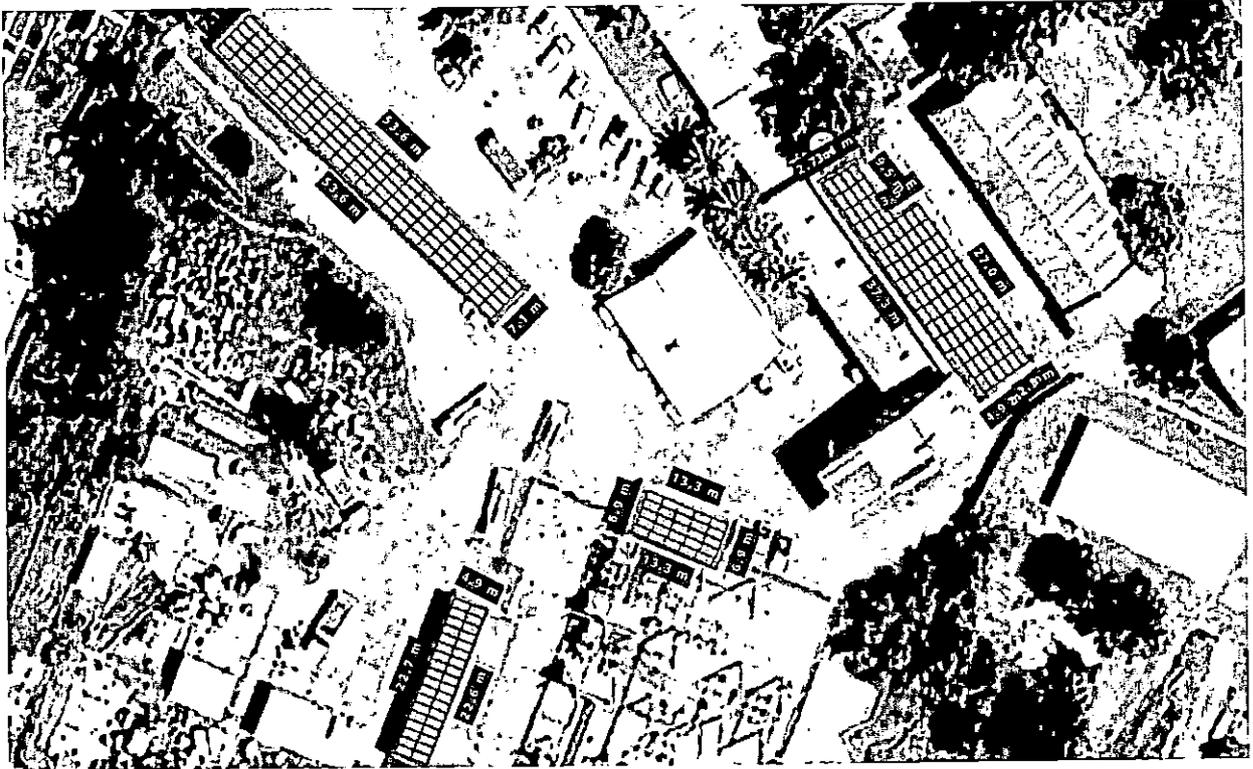


Figure 9 COW EE Shading

COW RAMATEX

The shading analysis for the COW RAMATEX Building indicates excellent site suitability for PV installation despite not meeting the structural requirements. Overall shading losses are negligible at approximately 0.6%, with average Total Solar Resource Fraction (TSRF) values above 90% across all field segments (See APPENDIX D). The system benefits from optimal easterly-westerly module orientation and tilt (around 10°), ensuring high solar access exceeding 98% throughout the year. With annual irradiance values between 2,360–2,390 kWh/m² and well-managed system losses, the site is expected to achieve strong and consistent solar energy performance in line with design expectations.

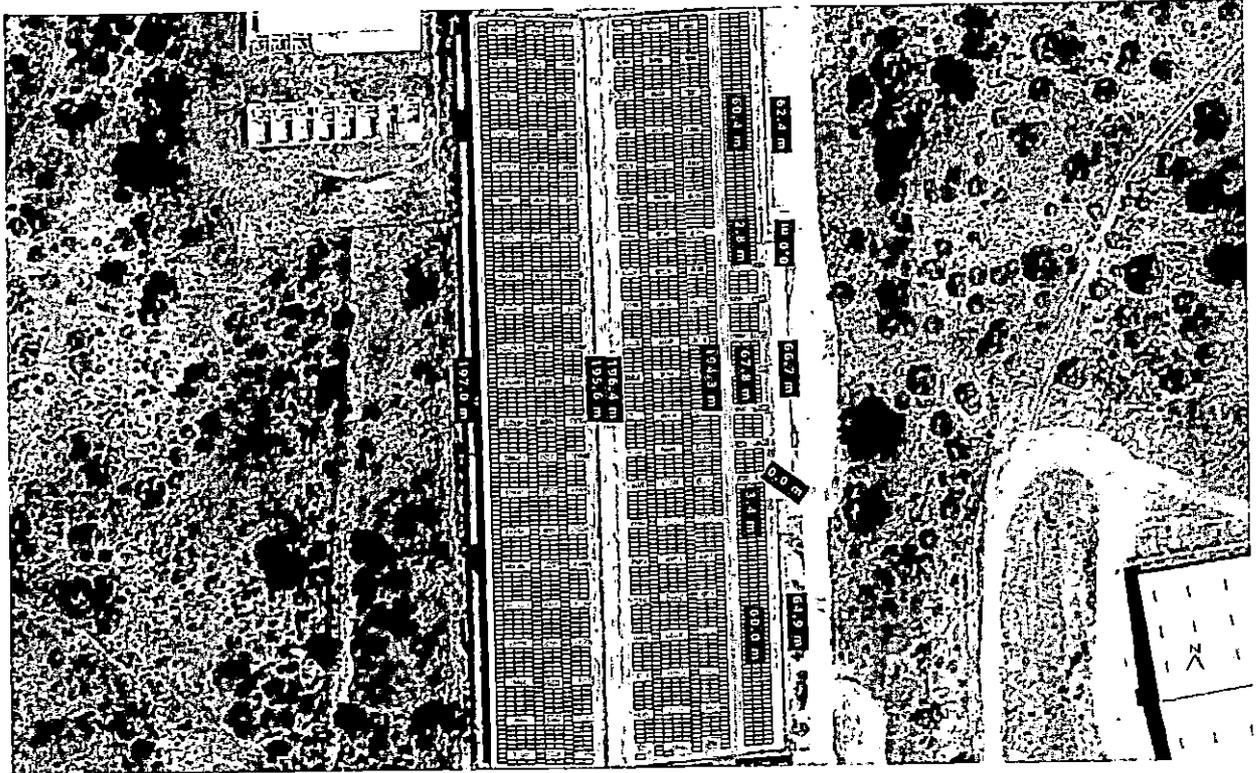


Figure 10 RAMATEX Shading

5. Financial Assessment

This section presents the financial implications of the proposed system, including capital costs, payback period, and projected savings based on the energy profile and site conditions. The financial evaluation considered multiple factors, including:

- Daily load profile characteristics, weekend-based consumption patterns.
- Alignment of energy demand with PV generation, ensuring demand is coincident with solar output to maximize self-consumption and financial returns.
- Capital expenditure (CAPEX) requirements for necessary roof refurbishment, which have been incorporated into the overall cost assessment.

Further guide to the financial assessment was derived from the Electricity Control Board's (ECB) estimated annual savings in the following categories:

1. Demand: Savings from demand charge reduction
2. Energy: Consumption reduction and self-consumption
3. OHM: Operating and maintenance costs of the proposed components
4. Replacements: Cost to replace proposed system components over the project lifetime
5. Total: The total savings (annualized) of the proposed system

5.1 COW Head Office Economic Indicators

Figure 11 depicts the load profile for COW Head office meter from 2023-06-12 @ 20:00 to 2023-08-14 @ 20:00.

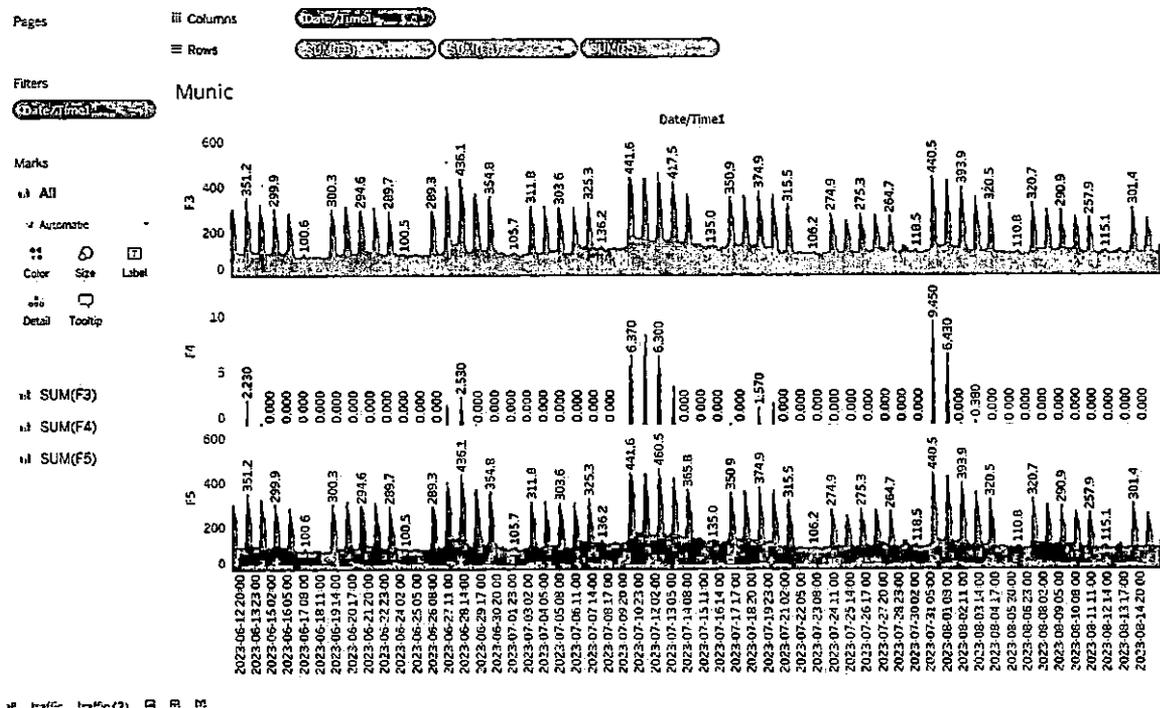


Figure 11 COW HEAD OFFICE LOAD PROFILE

Table 11 shows the CAPEX for COW head office site solar installations, considered is capped capacity to 500kWp in order to accommodate the site under net metering.

Table 11 ECONOMIC INDICATORS HEAD OFFICE

Site	COW Head Office	Unit/rel
Energy Consumption		
MD		450.00 kVA
Access		500.00 kVA
Demand Saving		50%
Saving		225.00 kVA
Saving N\$	N\$	604,800.00
Load Factor		0.50
WeeksDay		0.80
Daytime		60%
NightTime		40%
Energy Offset		100%
Size		500 kWp
Yield		2000.00 kWhr/kWp/yr
E Production pa		1000000 kWhr
Energy Offset	N\$	1,336,000.00 Std
Energy Offset	N\$	236,000.00 Off
80% Std / 20%offPeak		80% Std
80% Std / 20%offPeak		20% Off
Total Saving Energy	N\$	1,572,000.00 p.a
BreakEven		5.83 Years
NPV		N\$12,423,258.71
IRR		21%
SIZE		500 kWp / Distributed
CAPEX	N\$	7,500,000.00
CARPORT	N\$	5,200,000.00
CAPEX incl. CARPORT	N\$	12,700,000.00
TOTAL EE saving Incl. Demand	N\$	2,176,800.00

Table 12 depicts the summary cost for the recommended system at COW head office.

Table 12 RECOMMENDED SYSTEM HEAD OFFICE

NPV		N\$12,423,258.71
IRR		21%
SIZE		500 kWp / Distributed
CAPEX	N\$	7,500,000.00
CARPORT	N\$	5,200,000.00
CAPEX incl. CARPORT	N\$	12,700,000.00
TOTAL EE saving Incl. Demand	N\$	2,176,800.00

Table 13 depicts the cashflow for the COW head office site once PVEG is adopted. It is presented over a period of 20 years (Table shows 6 years).

Table 13 CASHFLOW HEAD OFFICE

	Column1	Column2	Column3	Column4	Column5	Column6	Column7	Column8	Column9	Column10		
Discount Rate used		10%										
CAPEX1												
CAPEX2	-NS	7,500,000.00	-NS	7,500,000.00								
E/Save	-NS	5,200,000.00	-NS	5,200,000.00								
D/Save		NS 1,572,000.00			NS 1,572,000.00	NS 1,650,600.00	NS 1,733,130.00	NS 1,819,786.50	NS 1,910,775.83	NS 2,006,314.62	NS 2,106,630.35	
EE Cost/ Escalation		NS 604,800.00			NS 604,800.00	NS 635,040.00	NS 666,792.00	NS 700,131.60	NS 735,138.18	NS 771,895.09	NS 810,489.84	
		5%			-NS 12,700,000.00	NS 2,176,800.00	NS 2,285,640.00	NS 2,399,922.00	NS 2,519,918.10	NS 2,645,914.01	NS 2,778,209.71	NS 2,917,120.19

5.2 COW EE Department Economic Indicators

Figure 12 depicts the load profile for COW EE Department meter from 2024-11-23 @ 12:00 to 2024-12-23 @ 04:30.

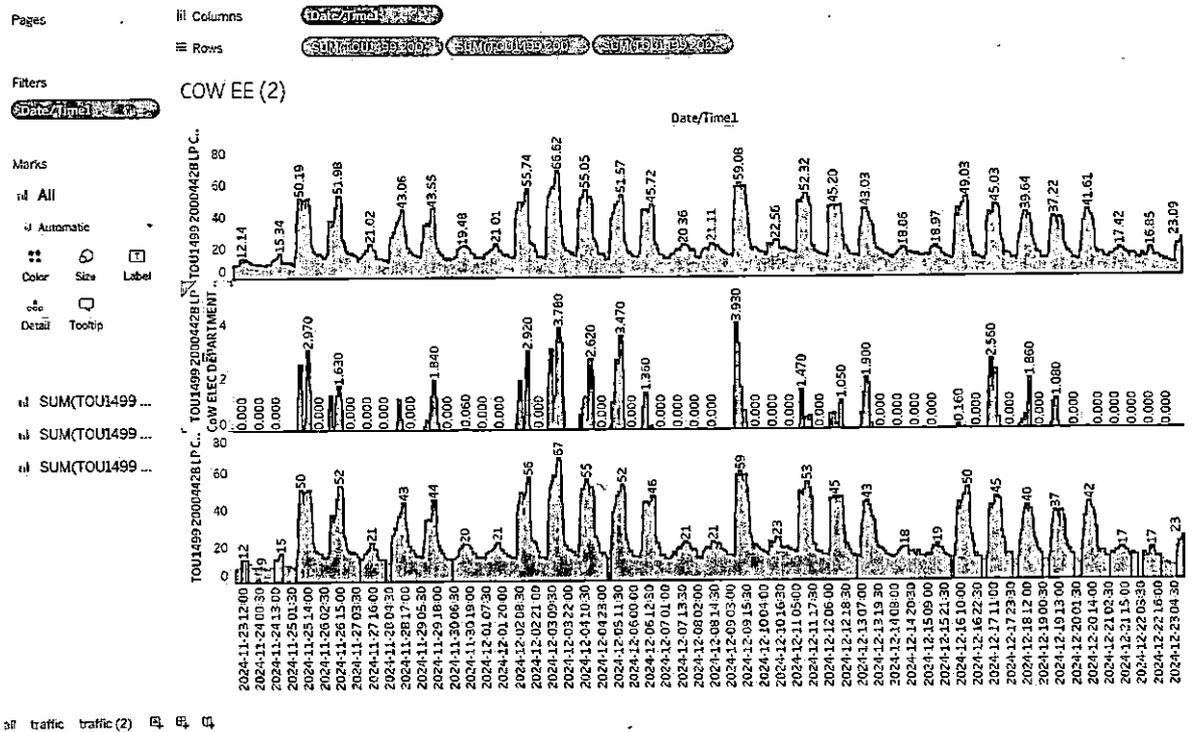


Figure 12 COW EE DEPARTMENT LOAD PROFILE

Table 14 shows the CAPEX for COW EE site solar installations, accounted for its capacity of 80kWp for compliant structures accommodated under net metering

Table 14 ECONOMIC INDICATORS ELECTRICAL DEPARTMENT[S34][FS35][FS36]

Site	COW/Head Office	Unit/Ref.
Energy Consumption		
MD		80.00 kVA
Access		87.00 kVA
Demand Saving		50%
Saving		40.00 kVA
Saving N\$	N\$	107,520.00
Load Factor		0.50
WeeksDay		0.80
Daytime		60%
NightTime		40%
Energy Offset		100%
Size		87 kWp
Yield		2000.00 kWhr/kWp/yr
E Production pa		174000 kWhr
Energy Offset	N\$	232,464.00 Std
Energy Offset	N\$	41,064.00 Off
80% Std / 20%offPeak		80% Std
80% Std / 20%offPeak		20% Off
Total Saving Energy	N\$	273,528.00 p.a
BreakEven		5.94 Years
NPV		N\$875,353.93
IRR		21%
SIZE		500 kWp / Distributed
CAPEX	N\$	1,305,000.00
CARPORT	N\$	960,000.00
CAPEX incl. CARPORT	N\$	2,265,000.00
TOTAL EE saving Incl. Demand	N\$	381,048.00

Table 15 shows the CAPEX for COW head office site solar installations, consideration of 180kWp capacity for compliant and noncompliant structures combined and accommodated under net metering.

Table 15 ECONOMIC INDICATORS COW EE DEPARTMENT

Site	COW/Head Office	Unit/Ref.
Energy Consumption		
MD		180.00 kVA
Access		180.00 kVA
Demand Saving		50%
Saving		90.00 kVA
Saving N\$	N\$	241,920.00
Load Factor		0.50
WeeksDay		0.80
Daytime		60%
NightTime		40%
Energy Offset		100%
Size		180 kWp
Yield		2000.00 kWhr/kWp/yr
E Production pa		360000 kWhr
Energy Offset	N\$	480,960.00 Std
Energy Offset	N\$	84,960.00 Off
80% Std / 20%offPeak		80% Std
80% Std / 20%offPeak		20% Off
Total Saving Energy	N\$	565,920.00 p.a
BreakEven		4.53 Years
NPV		N\$1,855,792.22
IRR		26%
SIZE		180 kWp / Distributed
CAPEX	N\$	2,700,000.00
CARPORT	N\$	960,000.00
CAPEX incl. CARPORT	N\$	3,660,000.00
TOTAL EE saving Incl. Demand	N\$	807,840.00

Table depicts cashflow over 6 years for implementation of 87kWp system.

Table 16 EE COW SYSTEM OPTION 1 CASHFLOW

Column1	Column2	Column3	Column4	Column5	Column6	Column7	Column8	Column9	Column10
			0	1	2	3	4	5	6
Discount Rate	10%								
CAPEX 1	-N\$ 1,305,000.00		-N\$ 1,305,000.00						
CAPEX 2	-N\$ 960,000.00		-N\$ 960,000.00						
E/Save		N\$ 273,528.00		N\$ 273,528.00	N\$ 287,204.40	N\$ 301,564.62	N\$ 316,642.85	N\$ 332,474.99	N\$ 349,098.74
D/Save		N\$ 107,520.00		N\$ 107,520.00	N\$ 112,896.00	N\$ 118,540.80	N\$ 124,467.84	N\$ 130,691.23	N\$ 137,225.79
EE Cosst Escalation	5%		-N\$ 2,265,000.00	N\$ 381,048.00	N\$ 400,100.40	N\$ 420,105.42	N\$ 441,110.69	N\$ 463,166.23	N\$ 486,324.54

Table depicts cashflow for implementation of 180kWp system over 6 years.

Table 17 EE COW OPTION 2 CASHFLOW

Column1	Column2	Column3	Column4	Column5	Column6	Column7	Column8	Column9	Column10
			0	1	2	3	4	5	6
Discount Rate	10%								
CAPEX 1	-N\$ 2,700,000.00		-N\$ 2,700,000.00						
CAPEX 2	-N\$ 960,000.00		-N\$ 960,000.00						
E/Save		N\$ 565,920.00		N\$ 565,920.00	N\$ 594,216.00	N\$ 623,926.80	N\$ 655,123.14	N\$ 687,879.30	N\$ 722,273.26
D/Save		N\$ 241,920.00		N\$ 241,920.00	N\$ 254,015.00	N\$ 266,716.80	N\$ 280,052.64	N\$ 294,055.27	N\$ 308,758.04
EE Cosst Escalation	5%		-N\$ 3,660,000.00	N\$ 807,840.00	N\$ 848,232.00	N\$ 890,643.60	N\$ 935,175.78	N\$ 981,934.57	N\$ 1,031,031.30

Examining the cashflow for the two system options at the COW EE Department, the annual savings N\$807,840.00 over N\$381,048.00 in year 1 and the duration for breakeven to take place i.e. 5 years over 6 years, suggest that the preferred and better system to implement is that of 180kWp.

Table depicts the summary cost for 80kW system at COW EE Department office.

Table 18 EE COW SYSTEM OPTION 1

NPV	N\$875,353.93
IRR	21%
SIZE	87 kWp / Distributed
CAPEX	N\$ 1,305,000.00
CARPORT	N\$ 960,000.00
CAPEX incl. CARPORT	N\$ 2,265,000.00
TOTAL EE saving Incl. Demand	N\$ 381,048.00

Table depicts the summary cost for 180kW system at COW EE Department office. Consider increasing to 180kWp – CAPEX: CAPEX incl. CARPORT N\$3,660,000^[S37]^[FS38]^[FS39]^[FS40].00 for better saving.

Despite better saving COW risks – oversizing, unless under own ring-fence^[S41]^[S42] i.e. creating a defined operational or financial boundary around the system to manage its performance, costs, and grid interaction independently.

Table 19 EE COW SYSTEM OPTION 2

NPV	N\$1,855,792.22
IRR	26%
SIZE	180
CAPEX	N\$ 2,700,000.00
CARPORT	N\$ 960,000.00
CAPEX incl. CARPORT	N\$ 3,660,000.00
TOTAL EE saving Incl. Demand	N\$ 807,840.00

5.3 COW RAMATEX Economic Indicators

Table shows the CAPEX for COW RAMATEX site solar installations; the roof provides a capacity of 1.64MWp to be accommodated under MSB Model.

Table 20 RAMATEX Economic Indicators

Site	COW RAMATEX	Unit/Ref
Energy Consumption		
MD		1640.00 kVA
Access		1640.00 kVA
Demand Saving		50%
Saving		820.00 kVA
Saving N\$	N\$	2,204,160.00
Load Factor		0.50
WeeksDay		0.80
Daytime		60%
NightTime		40%
Energy Offset		100%
Size		1640 kWp
Yield		2000.00 kWhr/kWp/yr
E Production pa		3280000 kWhr
Energy Offset	N\$	4,382,080.00 Std
Energy Offset	N\$	774,080.00 Off
80% Std / 20%offPeak		80% Std
80% Std / 20%offPeak		20% Off
Total Saving Energy	N\$	5,156,160.00 p.a
BreakEven		15.32 Years
NPV		N\$16,908,329.15
IRR		7%
SIZE		1640 kWp / Distributed
CAPEX	N\$	24,600,000.00
ROOF RECONSTRUCTION	N\$	88,163,595.00
CAPEX incl. RECONSTRUCTION	N\$	112,763,595.00
TOTAL EE saving Incl. Demand	N\$	7,360,320.00

Table depicts cashflow over 6 years for implementation of 1.64MWp system across RAMATEX roof.

Table 21 RAMATEX Cashflow

Column1	Column2	Column3	Column4	Column5	Column6	Column7	Column8	Column9	Column10	
				0	1	2	3	4	5	6
Discount Rate	10%									
CAPEX 1	-N\$ 24,600,000.00		-N\$ 24,600,000.00							
CAPEX 2	-N\$ 88,163,595.00		-N\$ 88,163,595.00							
E/Save		N\$ 5,156,160.00		N\$ 5,156,160.00	N\$ 5,413,968.00	N\$ 5,684,666.40	N\$ 5,968,899.72	N\$ 6,267,344.71	N\$ 6,580,711.94	
D/Save		N\$ 2,204,160.00		N\$ 2,204,160.00	N\$ 2,314,368.00	N\$ 2,430,086.40	N\$ 2,551,590.72	N\$ 2,679,170.26	N\$ 2,813,128.77	
EE Cost Escalation	5%			-N\$ 112,763,595.00	N\$ 7,360,320.00	N\$ 7,728,336.00	N\$ 8,114,752.80	N\$ 8,520,490.44	N\$ 8,946,514.96	N\$ 9,393,840.71

6. Conclusion and Recommendation

The assessment indicated that several COW facilities possess viable potential for rooftop PVEG installations, though this varies significantly by site.

At the COW Electricity Department, the existing roof structures can accommodate a PVEG system equivalent to the current demand of 76kVA. It is therefore recommended that a distributed 80kWp system be installed across the IT, Main and Revenue Protection buildings. This installation is projected to achieve a return on investment within 6 years. Furthermore, the inclusion of carport-mounted PV systems could provide an additional 61kWp capacity, offering flexibility for future expansion.

The COW Head Office (HO) possesses stronger potential, with the Finance & IT, Customer Care, and Old HO buildings collectively capable of supporting a 283kWp rooftop system. If carport-mounted PV structures are integrated, an additional 360kWp can be installed, resulting in a total potential capacity of up to 643kWp. However, in line with Net Metering regulations, it is recommended that the system capacity be capped at 500kWp, particularly after considering parking renovations. The associated investment costs are expected to yield a 6-year payback period, aligning with acceptable feasibility thresholds.

In contrast, the RAMATEX facility is not suitable for rooftop PVEG integration in its current condition. Structural integrity assessments reveal that the existing roof cannot safely support a 1.6 MW installation—or even half that capacity—without extensive refurbishment. The estimated cost of roof replacement alone is N\$ 88,163,595.00, excluding the PVEG system itself. Including the PV installation, total capital expenditure would exceed N\$ 100 million, with an estimated 16-year payback period.

Instead, to achieve the targeted possible 1.6 MW capacity, COW may consider ground-mounted solar installations. These systems would require an estimated CAPEX of approximately N\$ 30,000,000.00, offering a more cost-effective and scalable alternative. Under MSB model, even larger generation capacities could be achieved with these funds depending on land availability.

In summary, it is recommended that COW:

- Proceed with rooftop PVEG integration at the EE Department and Head Office buildings as detailed above.
- Exclude RAMATEX from rooftop PV integration due to high structural and financial constraints in the sense that alternative options can be weighed.

7. Appendices

APPENDIX A: GLINT & GLARE

1. Glint and Glare background

1.1. Glint and Glare Analysis for PV Array Placement

Glint and glare are unwanted reflections of sunlight from reflective surfaces, which can pose visual hazards to observers. Understanding these phenomena is critical when designing solar energy installations, particularly to avoid any negative effects on the surrounding environment or people.

- **Glint** refers to a brief, momentary flash of bright light, often caused by a reflection off a moving surface. An example of glint is the solar reflection briefly seen from a moving car.
- **Glare** is a continuous source of bright light, typically associated with stationary objects. Due to the sun's slow movement across the sky, glare can persist over a longer period of time.

The primary distinction between glint and glare is the **duration** of the reflected light. Glint is short-lived, whereas glare persists longer.

Solar Glare Classification: Solar glare can be classified into three categories based on the intensity of the light and its potential impact:

1. **Green Glare:** Low risk.
2. **Yellow Glare:** High risk.
3. **Red Glare:** Potential to cause retinal burns.

1.2. Sites Analyzed for Glint and Glare Impact

As part of a comprehensive analysis, glint and glare were assessed at selected sites where potential PV arrays could be placed. The following locations were examined to determine the risk of visual hazards to observers at key points around each site:

1. **COW Head Office**
2. **COW Electrical Department**
3. **Ramatex (Rhino Garments)**

1.3. Results of Glint and Glare Analysis

The analysis included an evaluation of how sunlight would interact with surfaces at each of these sites. The study aimed to identify any potential hazards that could arise due to glint and glare, particularly at points where observers might be present, such as roads, buildings, or other vantage points.

2. Glint and Glare analysis

For the PV arrays at all selected sites, the following specifications apply:

- **Axis Tracking:** Fixed (no movement), with a 10-degree tilt.
- **Rated Power:** Not applicable.

- **Panel Material:** Smooth glass with an Anti-Reflective Coating (ARC).
- **Reflectivity Variation with Sun Position:** Yes.

2.1. City of Windhoek Head Office

Figure 13 Depicts layout of City of Windhoek municipal Head Office (COW HO) and surrounding areas.

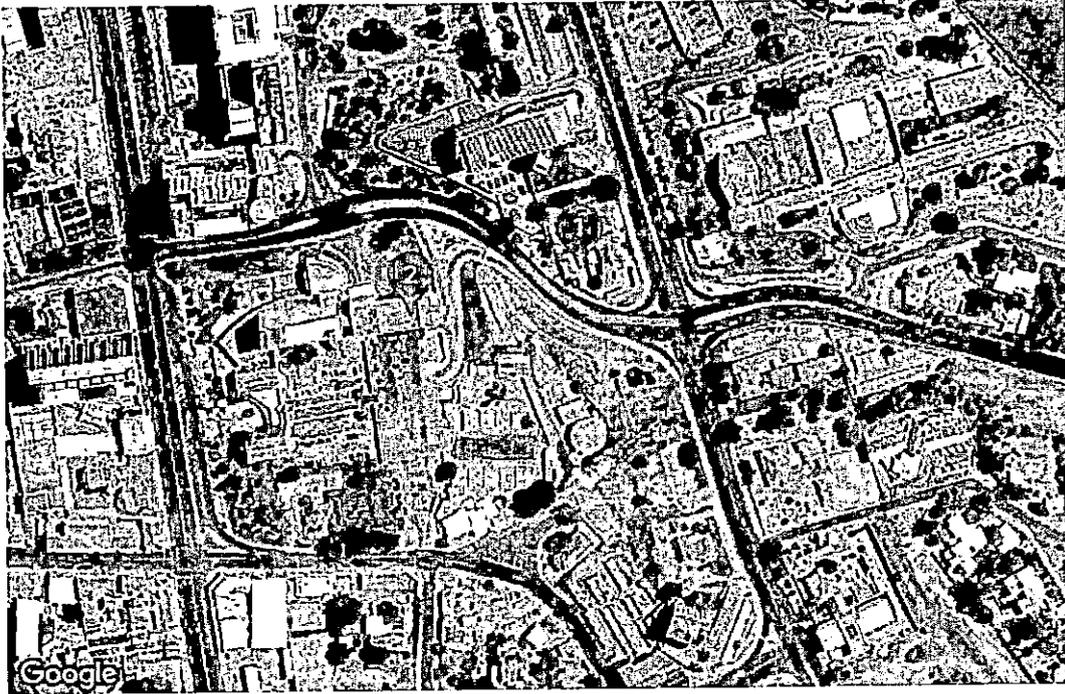


Figure 13. CoW Head Office Parking PV Array

2.1.1. Component data – COW H.O

PV Array:

Figure 14 depicts the data set of the COW HO parking PV array this includes coordinates and elevation. Parking heights assumed to be 3m high.

Vertex	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	m	m	m
1	-22.571848	17.086844	1686.00	3.00	1689.00
2	-22.571949	17.086850	1686.00	3.00	1689.00
3	-22.571952	17.087311	1686.00	3.00	1689.00
4	-22.571840	17.087311	1686.00	3.00	1689.00

Figure 14. COW Head Office Parking PV footprint

Figure 15 Depicts the dataset of the selected route along Sam Nujoma drive street a height of 1.4m assumed for a moving vehicle constantly along route with varying ground elevation.

Vertex	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	m	m	m
1	-22.571194	17.088177	1698.32	1.40	1699.72
2	-22.571159	17.087705	1695.45	1.40	1696.85
3	-22.571021	17.087459	1694.70	1.40	1696.10
4	-22.570823	17.087233	1694.65	1.40	1696.05

Figure 15. Route receptor (Sam Nujoma Drive)

Figure 16 depicts the coordinates and heights at observer points 1 and 2. With OP1 assumed to be an observer with height of 1.75m and OP2 assumed to be observer 2 in a building at a height of 4.3m

Number	Latitude	Longitude	Ground elevation	Height above ground	Total Elevation
	deg	deg	m	m	m
OP1	-22.570887	17.087609	1696.49	1.75	1698.24
OP2	-22.571140	17.086573	1687.76	4.30	1692.06

Figure 16. Discrete Observation Receptors Points 1 and 2

2.1.2. PV and Receptor analysis results – COW H.O

Considering dataset in 2.1.1 a glint and glare simulation was run through ForgeSolar and the results obtained are as follows.

Figure 17 shows 0 minutes of glare hence the site is conducive for PV installation without obstructing observers. The PV array footprint at the COW HO does not produce a glare to affect observers at selected point. It can be concluded this applies to the remaining surrounding areas not selected for the simulation since the panels face and tilt towards the north.

PV Name	Tilt	Orientation	"Green" Glare	"Yellow" Glare	Energy Produced	Peak Luminance	Data File
	deg	deg	min	min	kWh	cd/m ²	
PV array 1	0.0	180.0	0	0	-	0.0e+00	-

Figure 17. Summary of PV Glare analysis (Head Office)

Figure 18 Shows there are 0 minutes of glare detected from the route and observer point (OP) 1 and 2.

Component	Green glare (min)	Yellow glare (min)	Peak Luminance (cd/m2)
OP1	0	0	0
OP2	0	0	0
Route 1	0	0	0

Figure 18. Summary of receptor point and route analysis (Head office)

2.2. City of Windhoek Electrical Department

Figure 13 Depicts layout of City of Windhoek Electrical Engineering Department offices and surrounding areas.



Figure 19. COW Electrical Department

2.2.1. Component data – COW EE

Figure 14 depicts the data set of the COW EE main building PV array this includes coordinates and elevation. Building roof assumed to be 4m high.

Vertex	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	m	m	m
1	-22.583755	17.084771	1679.44	4.00	1683.44
2	-22.583656	17.084938	1678.93	4.00	1682.93
3	-22.583718	17.084991	1679.03	4.00	1683.03
4	-22.583829	17.084814	1679.58	4.00	1683.58

Figure 20. COW Electrical Department PV foot print

Figure 15 Depicts the dataset of the selected route approaching COW EE i.e. Armstrong Street, a height of 1.4m assumed for a moving vehicle constantly along route with varying ground elevation.

Vertex	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	m	m	m
1	-22.583271	17.083984	1679.37	1.40	1680.77
2	-22.583491	17.084365	1679.34	1.40	1680.74
3	-22.583595	17.084633	1679.21	1.40	1680.61
4	-22.583573	17.084722	1678.99	1.40	1680.39

Figure 21. Route to COW Electrical Department

Figure 16 depicts the coordinates and heights at observer point 1. With OP1 assumed to be an observer with height of 1.70m.

Number	Latitude	Longitude	Ground elevation	Height above ground	Total Elevation
	deg	deg	m	m	m
OP1	-22.583398	17.084213	1679.38	1.70	1681.08

Figure 22. Discrete observation receptor COW EE

2.2.2. PV and Receptor analysis results – COW EE

Considering dataset in 2.1.1 a glint and glare simulation was run through ForgeSolar and the results obtained are as follows.

Figure 17 shows 0 minutes of glare hence the site is conducive for PV installation without obstructing observers. The PV array footprint at the COW EE does not produce a glare to affect observers at selected point. It can be concluded this applies to the remaining surrounding areas not selected for the simulation since the panels face and tilt towards the observation point and route.

PV Name	Tilt	Orientation	"Green" Glare	"Yellow" Glare	Energy Produced	Peak Luminance	Data File
	deg	deg	min	min	kWh	cd/m ²	
PV array 1	10.0	180.0	0	0	-	0.0e+00	-

Figure 23. Summary of PV array analysis (COW Electrical Department)

Figure 18 Shows there are 0 minutes of glare detected from the route and OP 1.

Component	Green glare (min)	Yellow Glare (min)	Peak Luminance (cd/m ²)
OP1	0	0	0
Route	0	0	0

Figure 24. Summary of receptor poin and route analysis COW EE

2.3. Ramatex (Rhino Garments)

Figure 13 is a layout of COW Ramatex building and surrounding areas. For the Ramatex building flight points were observed and Figure 13 shows a route over the building analysed.



Figure 25. COW Ramatex building

2.3.1. Component data – COW Ramatex

PV Array:

Figure 14 presents the data set of the COW RAMATEX building. PV array footprint, this includes coordinates and elevation. Assumed to be 4m to 4.5m high.

Vertex	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	m	m	m
1	-22.541895	17.026000	1623.00	4.00	1627.00
2	-22.541895	17.026295	1623.00	4.50	1627.50
3	-22.541875	17.026729	1623.00	4.00	1627.00
4	-22.543634	17.026772	1623.00	4.00	1627.00
5	-22.543674	17.026311	1623.00	4.50	1627.50
6	-22.543659	17.025978	1623.00	4.00	1627.00

Figure 26. Ramatex PV array foot print

Figure 15 shows the dataset of the selected flight points across the COW RAMATEX building, an inclining height from 450m to over 550m assumed for a moving aeroplane constantly along route with varying ground elevation.

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	m	m	m
Threshold	-22.536959	17.030623	1594.58	450.00	2044.58
2-mile point	-22.560712	17.012755	1631.18	582.09	2213.27

Figure 27. Ramatex flight route

2.3.2. PV and Receptor analysis – COW Ramatex

Figure 17 indicates the PV array produces 319 minutes of green glare. Detailed analysis is shown in Figure 17

PV Name	Tilt	Orientation	"Green" Glare	"Yellow" Glare	Energy Produced	Data File
	deg	deg	min	min	kWh	
PV array 1	0.0	180.0	319	0	-	-

Figure 28. Summary of PV array analysis

Figure 17 shows how the 319 minutes of green glare are distributed over a calendar year. It is noted that glare is observed between May to August throughout the year.

PV	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
pv-array-1 (green)	0	0	0	0	60	145	110	4	0	0	0	0
pv-array-1 (yellow)	0	0	0	0	0	0	0	0	0	0	0	0

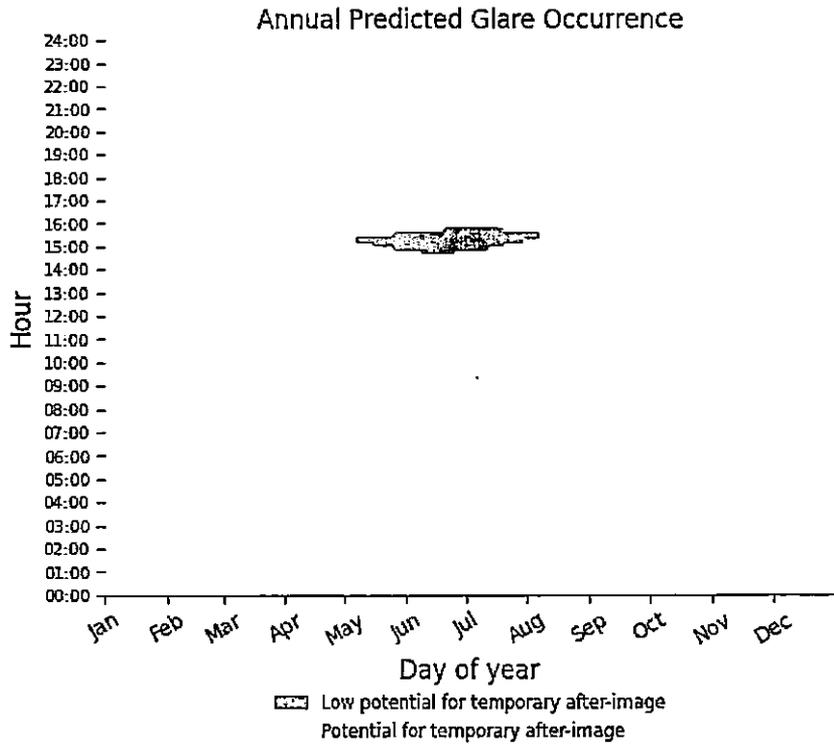
Figure 29. Distinct glare per month on Ramatex flight route

Figure 30. Graphical Glare analysis for Ramatex PV array and Flight point

Key Findings:

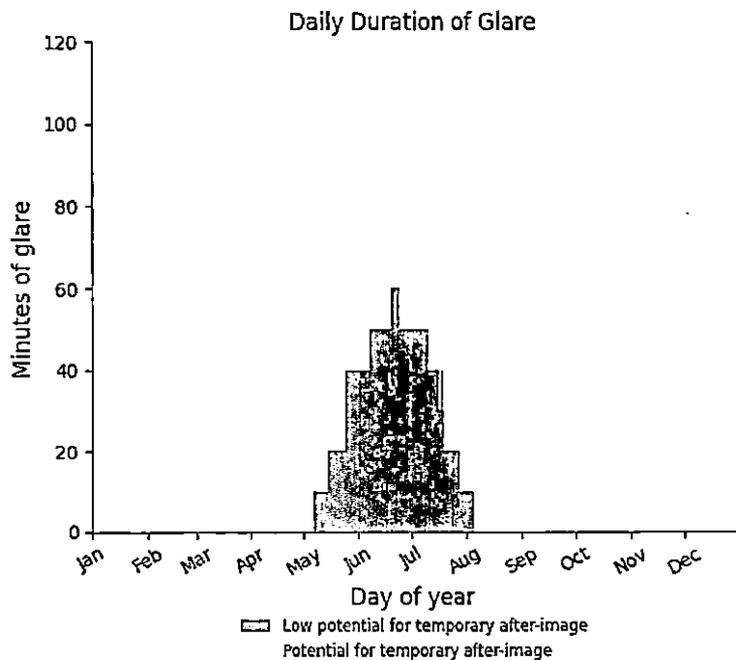
1. Annual Predicted Glare Occurrence:

The first graph indicates glare is concentrated between May and August. The occurrence is categorized as "Low potential for temporary after-image" indicating limited glare impact. Glare is observed between approximately 10:00 AM and 11:00 AM, suggesting that the sun's position plays a key role in glare occurrence.



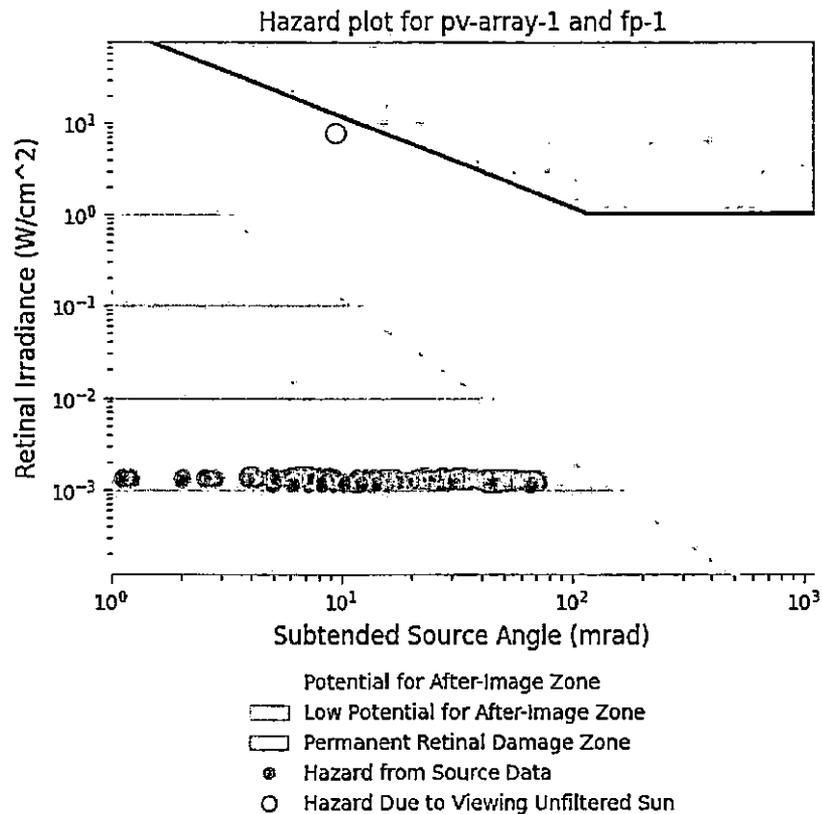
2. Daily Duration of Glare:

The second graph shows that the maximum daily glare duration reaches up to about 60 minutes. The glare duration peaks mid-year months and decreasing before and after this period. This suggests that specific solar angles during these months contribute to prolonged glare durations.



3. Hazard Assessment:

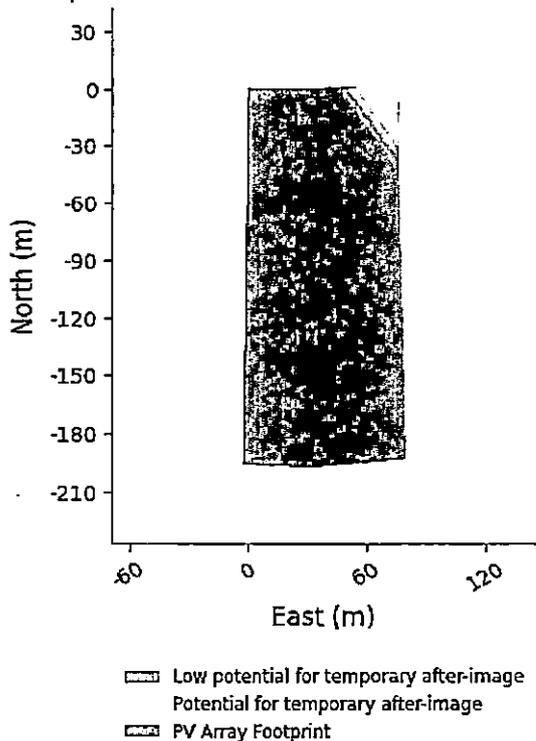
The hazard plot evaluates retinal irradiance versus subtended source angle. Most data points are within the "Low Potential for After-Image Zone," indicating minimal risk. However, one outlier is close to the "Permanent Retinal Damage Zone," indicating a potential risk at specific conditions.



4. Sampled Annual Glare Reflections on PV Footprint:

The fourth graph shows that glare reflections occur in specific areas of the PV array footprint. Most reflections are categorized under "Low potential for temporary after-image," meaning glare effects are localized and manageable. The reflections are concentrated towards the northeastern part of the footprint, suggesting directional dependency based on sun angles.

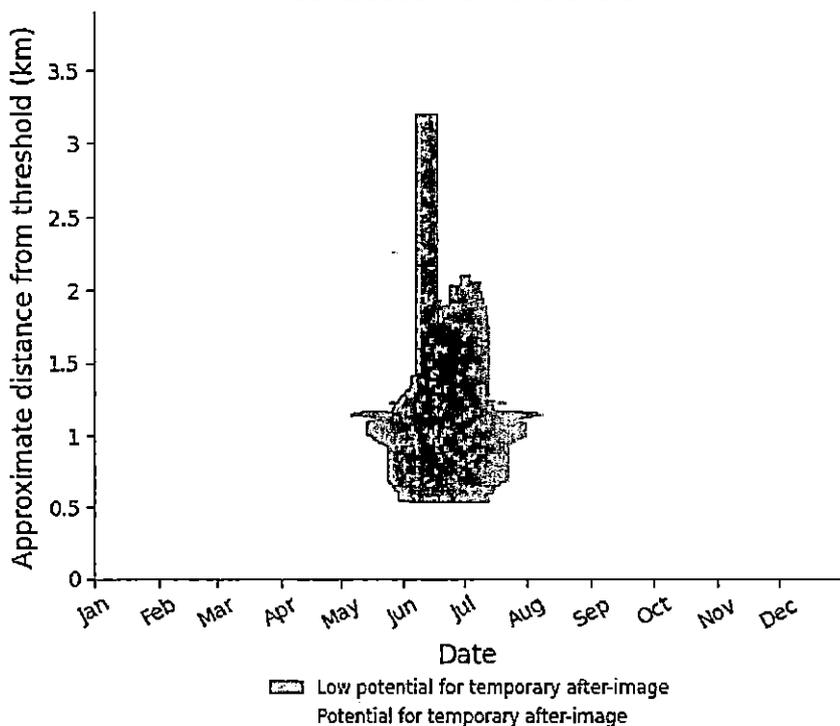
Sampled Annual Glare Reflections on PV Footprint



5. Path Location vs. Time of Glare:

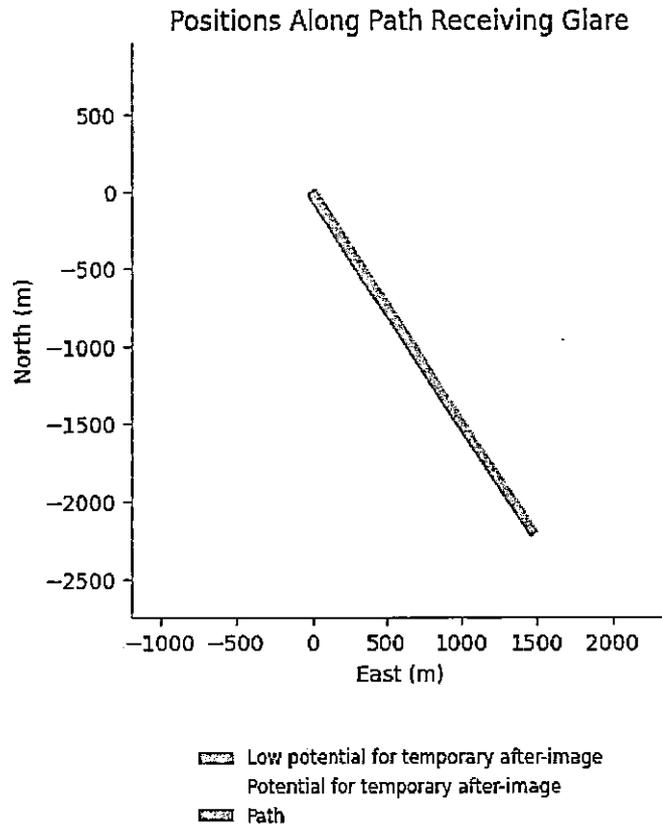
The fifth graph indicates that glare is observed at varying distances from the observer threshold. The glare impact is concentrated within 2-3 km from the source, suggesting that nearby areas may experience the highest intensity. The distribution follows a distinct pattern, implying that glare conditions depend on both distance and time of the year.

Path Location vs. Time of Glare



6. Positions Along Path Receiving Glare:

The final graph highlights the geographic distribution of glare impacts along an observer path of about 3km. Glare is primarily concentrated along a linear path extending from approximately -2000m to 1000m in the east-west direction and -2500m to 1000m in the north-south direction. The affected zone aligns with the PV footprint, reinforcing the directional nature of glare reflections.



Conclusion: The glare analysis indicates that while glare occurs seasonally, its impact remains within acceptable safety limits. Most glare instances fall under "Low potential for temporary after-image" zones, with only minor exceptions posing possible hazards.

APPENDIX B: Head Office Shading Report



Shade Report COW
Head Office.docx

APPENDIX C: Electricity Department Shading Report



Shade Report COW
EE Department.docx

APPENDIX D: Ramatex Shading Report



Shade Report COW
RAMATEX.docx

APPENDIX E: Visual Inspection Report



City of Windhoek
Roofs_Visual Inspectic

9.10 SE Forum: 9 October 2025

9.10.14 [CEO] Approval for the Memorandum of Understanding (MoU) between the Municipal Council of Windhoek and the Namibia Investment Promotion and Development Board (NIPDB).

- *Recommended on condition that the CEO (Corporate Legal Adviser) address the following, prior to placement on the MC Agenda, for consideration:*
 - *Insert a transitional clause on the duration of the Memorandum of Understanding (MoU) to cover any eventualities when the contract is terminated naturally.*

NIPDB

92

- Avail a senior CoW employee to provide services to investors from the investment board premises. The NIPDB office block will be ready mid-June and we would recommend that the person starts 1 July 2021. The staff member assigned should have general knowledge about land availability for investors as well as ability to facilitate certification for fitness of certificate and other matters relating to services offered by the City to investors such as rezoning etc. Furthermore, the individual should have decision making capacity and have access to Senior Management for quick decision making for higher level authorities so that investors can be served timely and efficiently.
- In future notify the Board of any regulations/policies developed or recommended by the City that would impact investments in any way. We plan to work with you to provide input as well as promote the amended laws to the private sector.

Finally, I have requested the Secretary to the Cabinet to arrange a meeting with all relevant players regarding the way forward with regard to improving Namibia's Ease of Doing Business ranking by the World Bank. I believe you will receive an invite to this meeting in the near future.

Mr. Mayumbelo, I believe that as a country we've been given another opportunity to position Namibia as a great investment destination, thereby creating employment and giving Namibians the opportunity to have a quality life.

It is with this urgency in mind that I look forward to launching a solid partnership that will help His Excellency deliver on his vision of a prosperous Namibia where no one is left out. As promised at the meeting, our team will contact yours within the next few weeks to hold initial discussions on the Memorandum of Understanding.

I look forward to our next steps.

Yours Sincerely



Nangula Uaandja
CHIEF EXECUTIVE OFFICER

MEMORANDUM OF UNDERSTANDING

ENTERED INTO AND BETWEEN



NIPDB
Namibia Investment Promotion
& Development Board

NAMIBIA INVESTMENT PROMOTION AND DEVELOPMENT BOARD

(An Association Not for Gain)
registered in accordance with the laws of Namibia under Registration Number 21/2020/0929
herein represented by **Ms. Rauha Nangula Uaandja**
in her capacity as *Chief Executive Officer*
and duly authorised thereto and whose business address is:

1st Floor, Investment House
C/O AB May & Gartner Street
Private Bag 12039
Windhoek
NAMIBIA

Telephone: +264 (0) 83 333 8600
Email: nangulanelulu.uaandja@nipdb.com

(Hereinafter referred to as "NIPDB")

AND



The Gateway to Endless Opportunities

THE MUNICIPAL COUNCIL OF THE CITY OF WINDHOEK

Duly established in terms of the Local Authorities Act, Act No 23 of 1992
Herein represented by **Mr. Moses Matyayi**, in his capacity as *Chief Executive Officer*
and duly authorised thereto and whose business address is:

80 Independence Avenue
P O Box 59
Windhoek, NAMIBIA
Telephone: +264 61 290 2615
Fax: +264 61 290 2344
Email: CEO@windhoekcc.org.na
Website: www.windhoekcc.org.na

(Hereinafter referred to as "MCoW")

(Hereafter referred to jointly as the "Parties")

PREAMBLE

WHEREAS NIPDB is registered as a non-profit organisation incorporated under section 21 of the Companies Act, 2004 (Act No. 28 of 2004) of Namibia.

AND WHEREAS NIPDB is mandated to facilitate, promote, attract and retain both domestic and foreign investments.

AND WHEREAS NIPDB plans to facilitate the issuance of licenses, permits and offer services to investors through the One Stop Centre at the NIPDB, subject to the relevant laws and regulations of Namibia.

AND WHEREAS NIPDB shall establish and manage as part of its operations, a One Stop Centre for investors to

- (a) facilitate the sharing of information between the State, investors and the public in relation to establishing an investment;
- (b) provide seamless and responsive online client services for business investors to start a business ;
- (c) facilitate service delivery to link investors with relevant service providers and agencies of government;
- (d) create a Web Portal, which links relevant service providers and agencies of government to support the facilitation services;
- e) provide the necessary technical support and guidance towards programmes aimed at providing business management skills and capacity building of MSMEs in the city.

AND WHEREAS NIPDB, in order to enhance the overall investment facilitation process, seeks the cooperation of other relevant offices, ministries or agencies to ensure inclusive representation of investment related activities and requirements in the operation of the One Stop Centre.

AND WHEREAS the MCoW's mandate is derived from the constitutional provision Chapter 12 (Regional and Local Government), Article 102 of the Constitution of the Republic of Namibia, and by the Local Authorities Act 23 of 1992, as amended.

AND WHEREAS the MCoW's mission is to enhance the quality of life for all residents of the City of Windhoek by rendering efficient and effective municipal services.

AND WHEREAS the MCoW, has the strategic objectives to amongst other Promote Duty of Care to the Organisation, Improve Customer Care, Improve Efficiencies in Urban Planning and Property Management, Increase Access to Services, Provide Enabling Environment for Tourism, Trade, Investment and Economic Development, Avail Serviced Land in All Use Categories, Improve Water Security and Increase Capacity of Electricity Supply.

AND WHEREAS the MCoW, through its Economic Development and Community Services Department has a mandate to advance economic development in the City of Windhoek and provide recreational, health and emergency services. Services include food and water sampling, pest and environmental pollution control, identifying and implementing projects that address job creation and community needs, promotion of small, micro and informal businesses as well as business attraction, retention and expansion through investment promotion, both local and foreign and stimulate local economic growth and development.

AND WHEREAS the MCoW, through its Economic Development Division seeks to increase investment and improve the investment climate and enabling environment in the jurisdiction of Windhoek by achieving the following goals;

- (a) improve stakeholder and investor communication and stakeholder engagements;
- (b) improve local competitiveness;
- (c) increase awareness of investment opportunities and
- (d) develop investment promotion claims.

AND WHEREAS NIPDB and MCoW seek to exercise their mandates, create partnership, enhance the efficient exchange and distribution of information and agree to facilitate economic growth and development to raise income, promote investment and create employment.

TO THIS END THE PARTIES HERETO AGREE AS FOLLOWS:

1 OBJECTIVE

The purpose of this MOU is to establish a strategic partnership between NIPDB and the MCoW, in a joint consolidated and coordinated collaboration to promote and facilitate the Competitiveness and Ease of Doing Business in Windhoek.

2 COMMENCEMENT AND DURATION

Notwithstanding the Signature Date, this MOU shall come into effect on a date to be agreed by both Parties (Commencement Date) and shall endure indefinitely unless terminated by either Party by providing at least six (6) months prior notice to the other Party.

3 AREAS OF COOPERATION

The **Parties** agree to collaborate on matters related to:

- **Collaboration**

Establishing structured engagement between NIPDB and MCoW to coordinate activities, share information, and align processes that support investment facilitation within the City of Windhoek.

- **Investor services**

Jointly attracting, facilitating, and retaining investments by providing coordinated guidance, municipal inputs, and aftercare support to both local and foreign investors.

As part of this MOU a Work Plan addendum will be developed by the **Parties** which shall cover, but will not be limited to, deliverables, timeframes, responsibilities and financial implications.

4 FUNDING AND PROCUREMENT

- 4.1 The **Parties** further agree to jointly explore funding possibilities for the activities under the auspices of this MOU, including, but not limited to:
- In-kind contributions (pro-bono) by **Parties**;
 - Co-funding by **Parties**;
 - Commissioned research and development conducted by **NIPDB** and funded by **MCoW**;
 - Third-party funding opportunities.
- 4.2 All services will be procured in terms of the provisions of the Public Procurement Act No 15 of 2015.

5 STATUS OF THE PARTIES

- 5.1 No party may incur any financial expenditure or obligations not stated herein. Any financial obligations that may arise as a result of any obligations in terms of this Agreement shall be agreed between the parties in writing.
- 5.2 Staff members, in pursuance of obligations in terms of this Agreement, remain subject to the rules and regulations of their own institutions in all matters of employment, benefits, medical and life insurance, employee rights, etcetera.

6 CONTRACT MANAGEMENT

- 6.1 Oversight of the operational procedures to give effect to the provisions of this Agreement will be vested with the programme coordinator nominated from each Party who will each utilize the involvement of such senior management of both **Parties** as they may deem fit.
- 6.2 Both Parties will meet as required to discuss matters arising from the provisions of this Agreement and to make such recommendations to their respective bodies as required.
- 6.3 This Agreement may be altered at any time with the consent of both **Parties**. A review of the effectiveness of the terms of this Agreement shall be undertaken during the first year of it having come into operation, with a view to modify provisions to ensure that they meet the current needs of both **Parties**. Subsequent reviews will take place at one-yearly intervals or earlier as required and agreed between the **Parties**.
- 6.4 Each of the **Parties** acknowledge and agree that for the purpose of fulfilling their respective obligations pursuant to this Agreement, information shall be shared between the respective Institutions. The **Parties** mutually covenant and agree that they will treat any such information in strict compliance with their respective rules as if it were the personal information of their own Institutions.

7 INTELLECTUAL PROPERTY RIGHTS AND NON-DISCLOSURE

- 7.1 Intellectual property rights shall vest in the **Parties**. All documentation, information, data obtained and / or exchanged between the **Parties** and any other information that come to the knowledge of the other Party through the implementation of this MoU will be treated as confidential and may only be divulged to third Parties with the written consent of the other Party.
- 7.2 Where new knowledge is produced jointly the intellectual property rights shall be shared by the **Parties** in equal shares.

8 DISPUTE RESOLUTION

- 8.1 The dispute resolution procedure contained in this Clause 8 ("**Dispute Resolution Procedure**") shall apply to any dispute, claim or difference between the **Parties** arising out of or relating to this Agreement ("**a dispute**").
- 8.2 A dispute will not be deemed to be a dispute until one of the **Parties** has provided a written notice conveying the nature and scope of the dispute to the other Party.
- 8.3 All disputes shall first be referred to a mediation committee consisting of the Contract Managers of the **Parties** ("**Mediation Committee**") for resolution. An agreement reached by the Mediation Committee shall be reduced to writing.
- 8.4 If the **Parties** have been unable to resolve any dispute within ten (10) working days of referral to the Mediation Committee, either Party may refer the matter to arbitration.
- 8.5 The arbitration shall be conducted in accordance with the provisions of the Arbitration Act, 1965 (Act No 42 of 1965, as amended from time to time), provided that:
- 8.6 a single arbitrator shall be appointed; and
- 8.7 the arbitrator shall be a practicing counsel or attorney of not less than ten (10) years standing agreed upon by the **Parties** within ten (10) days after the date on which the arbitration is called for.
- 8.8 If the **Parties** fail to reach an agreement within ten (10) days after arbitration has been called for on the arbitrator to be appointed, such arbitrator shall be appointed by the President for the time-being of the **Law Society of Namibia**.
- 8.9 The arbitration proceedings shall take place in **Windhoek** at a venue and time to be determined by the arbitrator.
- 8.10 The arbitration proceedings shall be held informally and in a summary manner, and all procedural requirements and formalities shall be determined by the arbitrator. In determining such formalities and procedure, the arbitrator does not need to observe the normal strict rules of evidence or usual formalities of procedure.
- 8.11 The decision of the arbitrator shall be final and binding on the **Parties**.
- 8.12 The cost of the arbitration proceedings shall be borne by the **Parties** as decided by the arbitrator.
- 8.13 Notwithstanding the provisions of this Clause 8, any Party shall be entitled to approach a competent court of law having jurisdiction to obtain any urgent relief which may be required by such Party.

9 SEVERABILITY

Each of the provisions of this MoU shall be regarded as distinct and severable from the other provisions thereof, and shall be given effect to as such, notwithstanding the manner in which it has been linked grammatically to any other provisions of this MoU. If any or more such provisions are found to be invalid or unlawful or unenforceable for whatever reason whatsoever, such findings shall in no way affect any other provision which shall continue to be of full force and effect.

10 NOTICES

- 10.1 All notices and any other communications whatsoever (including, without limitation, any approval, consent, demand, query or request) by either Party in terms of this MoU or relating to it shall be given in writing and sent by registered post, or delivered by hand, or transmitted by facsimile or electronic mail to the recipient Party at its relevant address set out below:

10.1.1 FOR NIPDB

1st Floor, BRB Building,
C/O AB May & Gartner Street, Windhoek, Namibia
Private Bag 12039
Windhoek
NAMIBIA
Telephone: ++264 (0) 83 333 8649
Email: nangulanelulu.uaandja@nipdb.com
Marked for the attention of: **Chief Executive Officer**

10.1.2 FOR City of Windhoek

80 Independence Avenue
Po Box 59
Windhoek, NAMIBIA
Telephone: +264 61 290 2615
Fax: +264 61 290 2344
Email: CEO@windhoekcc.org.na
Marked for the attention of: **Chief Executive Officer**

- 10.2 Either Party may, by written notice to the other Party, change any of the addresses at which, or the designated person for whose attention those notices or other communications are to be given.
- 10.3 Any notice or other communication given by any Party to the other Party which –
- 10.3.1 is sent by registered post to the addressee at its specified address shall be presumed to have been received by the addressee on the seventh (7th) day after the date of posting; or
 - 10.3.2 is delivered by hand during the normal business hours of the addressee at its specified address shall be presumed to have been received by the addressee at the time of delivery; or
 - 10.3.3 is transmitted by facsimile copier to the addressee at the addressee's specified facsimile number shall be presumed to have been received by the addressee on the date of transmission as indicated on the sender's facsimile transmission report; or
 - 10.3.4 is transmitted by electronic mail to the addressee at the addressee's specified electronic mail address shall be presumed to have been received by the addressee on the date of transmission as reflected on the sender's electronic mail records.
- 10.4 The **Parties** choose their respective physical addresses in Clause 10.1 as their respective *domicilia citandi et executandi* at which all documents relating to any legal proceedings to which they are a party may be served. If that address is changed to another address which is not a physical address within the Republic of Namibia and / or anywhere else, then the original address shall remain the *domicilium citandi et executandi* of the relevant Party until it nominates a new physical address within the Republic of Namibia and / or anywhere else in writing, to be its new *domicilium citandi et executandi*.

11 CONFIDENTIALITY

- 11.1 During the course of this MoU, one Party may provide the other Party with proprietary information which it wishes to be kept confidential.
- 11.2 Information disclosed by one Party ("the **Disclosing Party**") to the other Party ("the **Receiving Party**") and designated as confidential ("**Confidential Information**"), shall be treated as confidential by the Receiving

Party and shall not be disclosed, in whole or in part, to any third Party, unless prior written approval has been obtained from the Disclosing Party.

- 11.3 The **Parties** agree that this MoU is not intended to restrict the use or disclosure of any portion of such information which:
- 11.3.1 is made known to the public through no default by the **Receiving Party** of its obligations under this MoU;
 - 11.3.2 is rightfully received by the **Receiving Party** from a third party having no obligation of confidentiality to the **Disclosing Party**;
 - 11.3.3 is independently developed by the **Receiving Party** by persons who did not have access to Confidential Information of the **Disclosing Party**; or
 - 11.3.4 is disclosed by the **Receiving Party** after receipt of written permission from the **Disclosing Party**.
- 11.4 information which is required to be disclosed in response to a valid order of court or other governmental agency or if disclosure is otherwise required by law, and a Party will provide the other Party with prompt written notice if such disclosure is required, and shall limit the disclosure to the minimum necessary to comply with the law.
- 11.5 This Clause is severable from the rest of this Agreement and shall remain valid and binding on the **Parties** for a period of three (3) years after termination of this Agreement.

12 CANCELLATION

- 12.1 A Party (hereinafter referred to as the "**Aggrieved Party**") may cancel the whole or any part of the MoU in writing if another Party (hereinafter referred to as the "**Defaulting Party**") is in breach of this MoU.
- 12.2 If the **Defaulting Party** fails to remedy a breach within seven (7) working days after having been requested by the **Aggrieved Party** in writing, the **Aggrieved Party** shall be entitled, but not obliged, to cancel this MoU without prejudice, and claim any damages suffered as a result of such breach.
- 12.3 Termination of this MoU will not terminate any active executed Schedule and the terms of this MoU shall remain in force for the duration of such active executed Schedule, unless otherwise agreed by the **Parties**.
- 12.4 Termination of any executed Schedule will not terminate this MoU unless otherwise agreed by the **Parties**.

13 ENTIRE AGREEMENT

- 13.1 The **Parties** record that this MoU and its addenda constitute the whole agreement between the **Parties** as to the subject matter hereof and no agreements, representations or warranties between the **Parties** other than those set out herein are binding on the **Parties**.
- 13.2 Any amendment, extension, limitation, improvement or variation of this MoU in whole or in part shall not be binding on the **Parties**, unless it is reduced to writing and agreed upon and signed by the **Parties**.

14 GOVERNING LAW

All programmes and activities undertaken pursuant to this MoU shall be governed by the laws of the Republic of Namibia.

15 SIGNATURES

The **Parties** hereto have executed this MoU in two (2) original copies by their duly authorised representatives on the day and at the place referred herein, each Party receiving one (1) original copy hereof.

NAMIBIA INVEST PROMOTION AND
DEVELOPMENT BOARD

THE MUNICIPAL COUNCIL OF THE CITY
OF WINDHOEK

Place

Place

Date

Date

Jessica Hauuanga
Acting Chief Executive Officer

Moses Matyayi
Chief Executive Officer

WITNESS

WITNESS

Draft Action Plan - City of Windhoek (COW) and Namibia Investment Promotion and Development Board (NIPDB)

VISION	To be a Sustainable and Caring City by 2027										
MISSION	To enhance the quality of life for all our people by rendering efficient and effective municipal services										
THEMES	Social Progression, Economic Advancement, Infrastructure Development										
COMMON ARE	ACTIVITIES	STRATEGIC OBJECTIVE	INDICATOR/METRIC	DEPTs RESPONSIBLE	PROJECT TEAM MEMBERS	RESOURCES REQUIRED	STAKEHOLDERS	CONSTRAINTS	TIME FRAME/ DATE DUE	PERCENT COMPLETED	COMMENTS
Collaboration	Offer joint information sessions (forum)	Ensure the quality of life of all our stakeholders	Number of information sessions held, satisfaction survey by investors	EDCS, MCW	MCW EDCS (EDD, BD), NIPDB Investor Experience Dept, NIPDB Investment Dept, NIPDB MSME Development and Export Promotion Dept, NIPDB Competitiveness and Branding Dept.	Meeting spaces, Business processes, Digital and print promotion/communication tools, Financial resources	OMAs, corporates, financiers	Scheduling conflicts, low public private consultation, meeting fatigue, measurement tools lacking	First meeting in Q1 2025, bi-annually thereafter (again in Q4)	0%	Initial planning phase
	Share quarterly with MCW data covering the Khomas region on investors, but not limited to number of new investors, projected dollar	Enhance the quality of life of all our stakeholders	Quarterly report on investor statistics and trends nationally and specifically the Khomas region	EDCS, MCW	NIPDB Investor Experience Dept, BON, EDCS (RIM), NSA	Data trends, reports	OMAs and private data firms, Banks	Data provision and consistency, delays in gathering and sharing key investment information	Quarterly, starting Q1 2025	on-going	Quarterly reporting to begin in Q1 2025
Investor Services	Facilitate, oversee and track the progress of applications rendered to investors (mostly land applications) and aftercare services to local and foreign	Enhance the quality of life of all our stakeholders	Number of investor contacts made, applications processed and services rendered, progress tracking reports	EDCS, MCW	MCW representatives, OCEO, HPMHS, EDCS, UTP, ELE, NIPDB Investor Experience Dept, NIPDB Investment Dept, NIPDB MSME Development and Export Promotion Dept	Internal project management tracking system and tools, legal support and advise on special conditions, legislation supporting investment promotion	International and local investors, OMAs	Bureaucracy and timelines to avail land for investment projects, pending legislation	Ongoing, with quarterly reviews	on-going	Review quarterly, fast track legislation and business processes
	As member on the Ease of Doing Business & other relevant committees support the reduction of the number of days involved in registering a business (electricity connections,	Enhance the quality of life of all our stakeholders	Reduce average number of working days to issue requisite permits and certificates (electricity connections, building plan permits, business registrations & fitness certificates). Committee meetings minutes and action items concluded within agreed timeframe.	EDCS, UTP, ELE, ICT	MCW EDCS, UTP, ELE, ICT, NIPDB Investor Experience Dept., NIPDB Competitiveness and Branding Dept., NIPDB ICT Dept.	Efficient procedures, data, software, financing of EPM and CRM tools	MCW, NIPDB, BIPA, NAMRA, SSC, MHAISS, MIT	Availability of OMAs senior staff to attend scheduled committee meetings, seniority of staff to make decisions regarding streamlining systems and tools	Quarterly meetings	0%	Committees (Ease of Doing Business & Competitiveness) to be combined or not in 2025



World Wildlife Fund Inc.
(WWF Namibia)
 5 & 7 Rossini Street, Windhoek-west
 Windhoek, Namibia

Tel; +264 61 239945
 Fax; +264 61 239799
 reception@wwf.na

Mr. Moses Matyayi
 Chief Executive Officer
 P.O. Box 59
 Windhoek



Expression of Interest in MOU with City of Windhoek.

Dear Mr. Matyayi

I hope this letter finds you well. I am writing to express my interest in establishing a Memorandum of Understanding (MoU) between World Wildlife Fund Namibia and the City of Windhoek to collaborate on several key initiatives that are crucial for our community's sustainable development.

1. Earth Hour

We propose to join forces for Earth Hour, a global movement that encourages individuals, communities, and businesses to turn off non-essential electric lights for one hour as a symbol of commitment to the planet. By partnering with the City Council, we aim to amplify our collective impact, raise awareness about climate change, and promote energy conservation.

2. Water Sustainability and Management

When funding is secured, we are eager to collaborate on projects focused on water sustainability and management. This initiative will involve implementing efficient water usage practices, promoting water conservation, and enhancing the management of our water resources.

3. Other Collaborative Opportunities

In addition to the above initiatives, we are open to exploring other areas of collaboration that align with our mutual goals of sustainability and community well-being. We believe that by working together, we can achieve greater outcomes and foster a more resilient and sustainable community.

We are enthusiastic about the possibility of this partnership and are confident that our combined efforts will lead to significant positive impacts. We look forward to discussing this proposal further and exploring the ways in which we can collaborate effectively.

Yours Sincerely,

Juliane Zeidler
 Country Director,
 WWF Namibia

MEMORANDUM OF UNDERSTANDING

BETWEEN



WORLD WILDLIFE FUND, INC.

(WWF Namibia Country Office or WWF)

5-7 Rosini Street, Windhoek, Namibia.

Herein represented by **Dr. Juliane Zeidler** in his capacity as *Country Director*
and duly authorised thereto and whose business address is:

5-7 Rosini Street

P O Box 9681

Windhoek, NAMIBIA

Telephone: +264 61 239945

Fax: +264 61 239 799

Email: jzeidler@wwf.na

AND



The Gateway to Endless Opportunities

THE MUNICIPAL COUNCIL OF WINDHOEK

Duly established in terms of the Local Authorities Act, Act No 23 of 1992

Herein represented by **Mr. Moses Matyayi**, in his capacity as *Chief Executive Officer*
and duly authorised thereto and whose business address is:

80 Independence Avenue

P O Box 59

Windhoek, NAMIBIA

Telephone: +264 61 290 2615

Fax: +264 61 290 2344

Email: CEO@windhoekcc.org.na

Website: www.windhoekcc.org.na

(Hereinafter referred to as "MCoW")

(Hereafter referred to jointly as the "Parties")

I. RECITALS

WHEREAS, WWF's mission is to conserve nature and reduce the most pressing threats to the diversity of life on Earth;

WHEREAS, the Municipal Council was duly established in terms of the Local Authorities Act, Act No 23 of 1992, and its mission is to enhance the quality of life for all its people by rendering efficient and effective municipal services.

WHEREAS, the PARTIES desire to work together in good faith and wish to establish a working relationship to undertake mutually desirable activities on management and sustainable use of water, environmental pollution, effective waste management, environmental awareness and advocacy and climate change management;

NOW, THEREFORE, it is hereby agreed by and between the PARTIES:

II. OBJECTIVES

- A. The objective of this Memorandum of Understanding ("Agreement") is to provide a framework of cooperation for the PARTIES to efficiently and effectively promote Sustainable Natural Resource Management and Conservation is an initiative aimed at promoting the responsible use, protection, and restoration of natural resources for sustainable management of ecosystems. (the "Project").
- B. Wherever desirable, the PARTIES will seek to cooperate and develop joint actions on Project. Through this cooperation, the PARTIES hope to achieve the following outcomes:
 - i. **OUTCOME 1:** Improved management and sustainable use of water resources to ensure availability, quality, and equitable access for communities and ecosystems.
 - ii. **OUTCOME 2:** Reduced environmental pollution and effective waste management through prevention, mitigation, and sustainable disposal practices.
 - iii. **OUTCOME 3:** Increased environmental awareness and advocacy through education and community engagement, fostering responsible behaviors and active participation in conservation initiatives.
 - iv. **OUTCOME 4:** Effective climate change management that enhances resilience, mitigates risks, and promotes sustainable adaptation strategies
- C. If either PARTY intends to transfer funds, equipment, or any other assets to the other PARTY for purposes of the Project, the terms of such transfer shall be governed by an additional and separate Agreement between the PARTIES, which may reference or incorporate the terms of this Agreement, if appropriate.

III. **RESPONSIBILITIES.** Specifically, the anticipated roles and responsibilities of each Party are as follows:

A. The Parties are both responsible for the following:

- i. If mutually desired by the PARTIES' Representatives (as designated under Paragraph VI), jointly design and approve a workplan covering a period of FIVE YEARS and additional workplans and/or updates to the original workplan to cover the full term of this Agreement. Such workplans shall be based on the objectives of the Projects and the available resources.
- ii. Meet regularly to coordinate activities cooperatively under this MOU.
- iii. Designate qualified and experienced staff member to participate in meetings.
- iv. As needed, undertake joint visits to project sites in Namibia to understand the opportunities and challenges for the projects.
- v. Provide timely inputs, orally and in writing on project documents.

B. WWF shall be responsible for the following:

- i. Fundraising from third parties to raise funds for the Project.
- ii. Taking the lead in coordinating joint activities in furtherance of the Project, managing joint activities under the Project, grant making for the Project, oversight and monitoring of joint activities under Project.

C. The COW shall be responsible for the following:

- i. Providing implementation and guidance in areas aligned with its statutory responsibilities and strategic frameworks, including the City of Windhoek Strategic Plan (2022–2027), Integrated Climate Change Strategy and Action Plan (2020), Integrated Waste Management Plan (2018–2028), and Integrated Water Demand Management Strategy.
- ii. Ensuring activities under this MOU align with municipal policies and sustainability goals.
- iii. Providing technical guidance, facilitating coordination among residents, and integrating project outcomes into long-term city planning.
- iv. Promoting sustainable urban practices through its Environmental Education and Awareness Programme and community initiatives such as the Clean-up Windhoek Campaign and Green Parks Project.
- v. Implementing adaptation and mitigation measures through its Integrated Climate Change Strategy. This includes solar hybrid installations, climate-proofing urban infrastructure, and integrating resilience planning into municipal development processes contributing to Namibia's Nationally Determined Contributions (NDCs).

IV. **NO FINANCIAL SUPPORT.** Nothing in this The Agreement obligates WWF either PARTY to provide any financial support to the other PARTY or any other third party.

V. **TERM & TERMINATION**

- A. This Agreement is effective for 5 year(s), beginning on 01 November 2025.
- B. This Agreement may be terminated with 30 days' written notice by either PARTY for any reason.

VI. **REPRESENTATIVES**

- A. The persons responsible for the implementation of this Agreement shall be the Juliane Zeidler, Country Director for WWF's Namibia Country Office and Moses Matyayi, Chief Executive Officer for the Municipal Council of the City of Windhoek, they or their designees shall meet regularly and coordinate the activities undertaken jointly under this Agreement.

VII. **INTELLECTUAL PROPERTY AND CONFIDENTIAL INFORMATION**

- A. The PARTIES agree that nothing in the Agreement shall give either PARTY any right, title, or interest in the other PARTY's trademarks, copyrights, trade secrets, or patents.
- B. Neither PARTY shall use the other PARTY's trademarks without the other PARTY's prior written approval, to be granted or withheld at the other PARTY's sole discretion.
- C. Whenever desirable, the PARTIES will seek to enter separate Agreements to govern the ownership, protection, and use of confidential information and work products that may be exchanged or developed pursuant to this Agreement.

VIII. **PUBLICITY**

- A. The PARTIES shall make no reference(s) to this Agreement, individual projects conducted jointly under this Agreement, and/or to possible future collaborations between the PARTIES, in external communications of any kind, without the express agreement of the PARTIES in advance of such communications.

IX. **WORKING WITH WWF**

- A. **Operational and Programmatic Independence.** WWF does not operate as an agent or representative for any other party or entity, including those who financially support WWF's work. WWF does not accept funding or other support from any source that could compromise its independence. All of WWF's actions, undertakings, and positions are determined by WWF alone.
- B. **Commitment to Integrity and Good Conduct.** WWF's Commitment to Integrity and Good Conduct, is hereby incorporated into this Agreement: <https://www.worldwildlife.org/pages/commitment-to-integrity-and-good-conduct>. The

Municipal Council of Windhoek will promptly notify WWF in writing in the event any such commitments are breached in the context of the PARTIES' work together.

- C. Environmental and Social Safeguards. WWF seeks to advance our mission - a world in which both people and nature thrive - on the fundamental principle that positive outcomes for both people and nature depend on firmly anchoring and integrating human rights into conservation practices.

As such, WWF has adopted an Environmental and Social Safeguards Framework (ESSF) and Statements of Principles to identify and address human rights risks, including grievance mechanisms through which stakeholders can raise concerns and seek resolution.

WWF's ESSF and Statements of Principles represent an integral part of our operations, and our work under this Agreement will be guided by them. These documents are found here: https://wwf.panda.org/principles_and_safeguards/.

The Municipal Council of Windhoek understands that WWF has adopted systems to enable the implementation of its ESSF and Statements of Principles, including contractual requirements for sub-recipients, and that the activities supported by this Agreement will be guided by them.

As such, WWF may modify, suspend and/or ultimately terminate any of its activities or sub-agreements that, in its sole judgment, are not being implemented in accordance with WWF's ESSF and/or Statements of Principles.

X. RELATIONSHIP BETWEEN THE PARTIES

- A. This is a non-exclusive agreement between the PARTIES and each PARTY reserves the right to work independently or with other organizations.
- B. Nothing contained in this Agreement shall be construed as creating a partnership, joint venture, employee-employer, or agency relationship between the PARTIES or any of their respective employees or representatives. Neither PARTY shall make any commitments or take any positions on behalf of the other PARTY without its specific, written consent.
- C. As between the PARTIES, each PARTY shall be solely responsible and liable for the acts and/or omissions of its (and its affiliates') employees, agents, and representatives under this Agreement, including third-party claims for damages or other losses relating to this Agreement. Nothing herein shall be construed as creating joint or several liability among the PARTIES.

XI. MISCELLANEOUS

- A. This Agreement will be governed by and interpreted in accordance with the laws of the District of Columbia. The PARTIES shall strictly comply with all applicable laws and regulations governing this Agreement and the activities undertaken hereunder.

- B. Neither PARTY may assign this Agreement or any of its rights or obligations under this Agreement, in whole or in part, by operation of law or otherwise, without the prior written consent of the other PARTY.
- C. This Agreement may be modified only by written amendment executed by the PARTIES. This Agreement contains the entire agreement of the PARTIES.
- D. The PARTIES shall use good faith efforts to settle amicably any dispute, controversy or claim arising out of this Agreement. Each PARTY reserves all other rights and remedies available under this Agreement.
- E. Failure by either PARTY to enforce a provision of this Agreement shall not constitute a waiver of that or any other provision of this Agreement. The invalidity or unenforceability of any provision of this Agreement shall not affect the validity or enforceability of any other provision of the Agreement.

XII. SIGNATURES

The Parties hereto have executed this MoU in two (2) original copies by their duly authorised representatives on the day and at the place referred herein, each Party receiving one (1) original copy hereof.

WORLD WILDLIFE FUND

THE MUNICIPAL COUNCIL OF THE CITY
OF WINDHOEK

Place

Place

Date

Date

Juliane Zeidler
Country Director

Moses Matyayi
Chief Executive Officer

Draft Action Plan - City of Windhoek (COW) and World Wildlife Fund (WWF)

VISION											
To be a Sustainable and Caring City by 2027											
MISSION											
To enhance the quality of life for all our people by rendering efficient and effective municipal services											
THEMES											
Social Progression, Economic Advancement, Infrastructure Development											
COMMON ARE	ACTIVITIES	STRATEGIC OBJECTIVE	INDICATOR/METRIC	DEPT'S RESPONSIBILITY	PROJECT TEAM MEMBERS	RESOURCES REQUIRED	STAKEHOLDERS	CONSTRAINTS	TIME FRAME/ DATE DUE	PERCENT COMPLETED	COMMENTS
Water Scarcity	Implement water leak detection and repair programs in municipal pipelines	Ensure the quality of life of all our stakeholders	Volume of water saved (litres) due to leak repairs	INFRA	INFRA and WWF	None	N/A	N/A	First meeting in Q1 2026, bi-annually thereafter (again in Q4)	0%	Initial planning phase
	Introduce water-saving technologies (low-flow taps, greywater systems)	Enhance the quality of life of all our stakeholders	Number of educational materials distributed.	INFRA	INFRA and WWF	None	N/A	N/A	First meeting in Q1 2026, bi-annually thereafter (again in Q4)	0%	Initial planning phase
Environmental issue	Develop climate-change adaptation and mitigation plans.	Enhance the quality of life of all our stakeholders	Number of investor contacts made, applications processed and services rendered, progress tracking reports	EDCS, MCW	MCW representatives, OCEO, HPMHS, EDCS, UTP, ELE, NIPDB Investor Experience Dept, NIPDB Investment Dept, NIPDB MSME Development and Export Promotion Dept	Internal project management tracking system and tools, legal support and advise on special conditions, legislation supporting investment promotion	International and local investors, OMAs	Bureaucracy and timelines to avail land for investment projects, pending legislation	Ongoing, with quarterly reviews	on-going	Review quarterly, fast track legislation and business processes'



[Municipal Council Minutes: 2019-09-26]

**10.3.4 FNS.3 [UTP] BUILDING LINE RELAXATION
DISPUTE ON ERF 3274, WINDHOEK –
OBJECTION FROM ADJACENT
NEIGHBOUR ERF 3275, WINDHOEK
(L/3274/W)**

On proposal by Councillor M Shiikwa, it was

RESOLVED

- 1 That the Building Permit application for Building Plan 3884/2015 requesting for the relaxation of the rear 3 and 5 metre building lines on Erf 3274, Windhoek be granted.
- 2 That the applicant and Objectors be informed of Council's decision, in writing, and be given the opportunity to appeal against Council's decision to the Ministry of Urban and Rural Development within twenty eight (28) days from the date of notification thereof.
- 3 That any notice of an intention to appeal this Council Resolution be submitted to Council within twenty eight (28) days from the date of notification thereof, in terms of clause 51(3) of the Windhoek Town Planning Scheme.
- 4 That it be noted that paragraph 3 of Council Resolution 287/08/2007 is herewith amended to read as follows:
 - 3 *That any building permit application for the relaxation of building lines where objections have been received be presented to Council for a final determination in the matter.*
- 5 That the resolution be implemented prior to confirmation of the minutes to allow for prompt feedback to the applicant.

RESOLUTION 233/09/2019

Applicant: _____
Erf No.: 556 HP
Tel. No.: 081 284 3987

NEIGHBOUR CONSULTATION FORM

CITY OF WINDHOEK
DEPT OF URBAN AND TRANSPORT PLANNING
received
2025-08-13
[Signature]
URBAN POLICY DIVISION
UP6

COMMENTS REQUIRED FOR:

- A: More than 2 Storey Residential Dwelling
- B: Exceeding of Coverage
- C: Exceeding of Outbuilding Size
- D: Relaxation of Building Lines

ADJACENT ERF OWNER'S COMMENTS:

I, K.O. Schimmel the Owner of Erf 557, which is adjacent* to Erf 556, have seen the drawing showing the structure to be erected thereon.

More than 2 Storey Residential Dwelling	AGREE <input type="checkbox"/> n/a	OBJECT <input checked="" type="checkbox"/>
Exceeding of Coverage	AGREE <input type="checkbox"/> n/a	OBJECT <input checked="" type="checkbox"/>
Exceeding of Outbuilding Size	AGREE <input type="checkbox"/> n/a	OBJECT <input checked="" type="checkbox"/>
Relaxation of Building Lines (3m; 5m; 7m)	AGREE <input type="checkbox"/> n/a	OBJECT <input checked="" type="checkbox"/>

(Kindly tick the appropriate box above)

Reason for objection, if any (please elaborate on a separate page if the space below is insufficient):

I object to the proposed building plans, dated 16.07.2025, shown to me on 18.07.2025 and a letter received from City of Windhoek (Urban Policy) on 29.07.2025 via mail (dated 24.07.2025), due to the following reasons: The enlargement of the flat will be too near to my erf and the two new windows are looking directly into my erf, so that we will have no privacy anymore. If the flat is enlarged, it will be possible to be rented out to more occupants, which will also disturb the peace and privacy.

I herewith declare all information contained herein as true and correct

Signed: *[Signature]*
Tel: 236 265
Date: 12.08.2025

Signatory must attach a copy of his/her identification

*Immediate neighbours include owners of properties that share borders or are separated by pan-handle accesses or small watercourses and public open spaces as well as those opposite across the street.

REPUBLIC OF NAMIBIA
NATIONAL IDENTITY CARD



NO 480131 0031 6

SURNAME
SCHIMMEL
FIRST NAME(S)
KURT OTTO

DATE OF BIRTH
1948-01-31
COUNTRY OF BIRTH
GERMANY

GENDER HEIGHT/CM
MALE 1,84

DATE OF ISSUE
2004-12-20

APPL. NO.
E60101

CITIZENSHIP
NON-CITIZEN

EYE COLOUR
BROWN



48013100316

DEPARTMENT OF URBAN AND
TRANSPORT PLANNING

☒ 59

80 Independence Avenue
WINDHOEK, NAMIBIA

Tel: (+264) 61 290 2482

e-mail: UTP@windhoekcc.org.na

www.cityofwindhoek.org.na

ENQ: V. Kabozu
DATE: 24/07/2025

TEL: 061-290 2299
REF: L/556/HP

K SCHIMMEL
PO BOX 5864
AUSSPANNPLATZ

Dear Sir/Madam

RE: NEIGHBOR COMMENTS, SIGNATURES AND COPY OF ID IN SUPPORT OF BUILDING / CONSTRUCTION ON ERF 556, KESTREL STREET, HOCHLAND PARK.

The Town Planning Scheme of the City of Windhoek provides the opportunity for neighbouring erf owners to provide comments and to object or not object to construction of a neighbouring erf as per Clause 19, 20 and 21 in the following cases: where a three storey dwelling unit is to be built, where the coverage of the erf is to be exceeded, where the size of an outbuilding exceeds the provisions of the town planning scheme and where the 3, 5 and 7m building line is to be relaxed.

The Public Consultation Policy for Proposed Development approved as per Council Resolution 348/11/19798 determines further that the signatory to the consent form should provide a copy of his / her ID.

The copy of the ID is purely an administrative requirement in order for the City of Windhoek officials to verify that the correct person is signing the consent. It is in the best interest of the signatory as it is the only means to make sure the actual concerns / comments/ objections are received from the actual neighbour.

The Building Plan submitted for Erf 556 Hochland Park require the comments and ID of the owner on Erf 557, Hochland Park being the adjacent neighbour to Erf 556 Hochland Park. You are herewith requested to sign off the building plans for Erf 556 Hochland Park and provide your ID's, at your earliest convenience should you have no objection to the Building Plan.

The contact detail of the owner of Erf 556 Hochland Park is 081 2843987. Attached to this letter is a copy of the building plan for your comments.

Should you have any problem or objection to the erection of the proposed building, your written comments and reason(s) for your objection must be forwarded or hand delivered to the owner and at the following address:sssss

All official correspondence must be addressed to the Chief Executive Officer

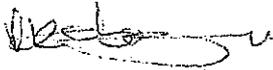
Should you have any problem or objection to the erection of the proposed building, your written comments and reason(s) for your objection must be forwarded or hand delivered to the owner and at the following address: sssss

The Manager: Urban Policy (Town House, Fifth Floor, Room 518/515/516/519/524)
City of Windhoek
P.O. Box 59, WINDHOEK

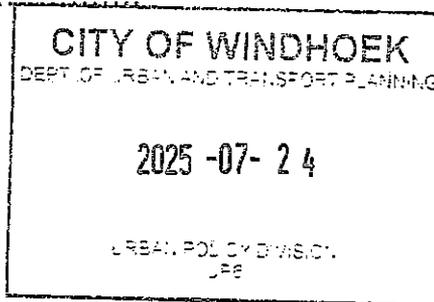
Further take notice that any person objecting to the proposed building plan as set out above may lodge such objection together with the grounds thereof, with the City of Windhoek (Urban Policy 5th Floor) and with the applicant / consultant in writing within 21 calendar days of the receipt of this notice.

The due date for objections is 14-08-2025

Thank you for your cooperation.



Mrs. Verenty Kabozu
TOWN PLANNING OFFICER



Agneta Matsuis
 P O Box 80231
 Olympia
 Telephone: 061 294 2402
 Cellphone: 0812843987
 E-mail: Agneta.Matsuis@standardbank.com.na

9 September 2025

Manager: Urban Policy
 Department of Urban and Transport Planning
 City of Windhoek
 P O Box 59, Windhoek

Dear Sir/Madam

Re: Appeal letter to my neighbor's objection regarding building construction on Erf 556, Kestrel Street, Hochland Park, Windhoek.

I am writing to you regarding my neighbor's objection to my proposed building plans for extension of my existing flat because of apparent privacy issues.

Reasons given by my neighbor for his objection:

"The enlargement of the flat will be too near to my erf and the two new windows are looking directly into my erf so that we will have no privacy anymore. If the flat is enlarged, it will be possible to be rented out to more occupants, which will also disturb the peace and privacy".

Herewith are the facts supporting my appeal to my neighbor's objection are as follows:

- There is an existing boundary wall between our erven that is 2.4 meters tall. The proposed windows will only be about 0.7 meters tall high.
- I am not enlarging the flat against our boundary wall. There will still be 1.5 meters between the flat and the boundary wall.
- My erf and my neighbor's erf sizes are both more than 1 200 square meters thus there is a lot of privacy for both of us.
- The proposed extension is for the enlargement of the existing two bedrooms only and therefore does not change the capacity of the tenancy. In addition, Namibia does not have a specific national law that sets a hard limit for residential occupancy per bedroom. My current tenant will remain in the flat after the expansion.

I do not believe the reasons for my neighbor's objection are reasonable thus I humbly request assistance in approval of my proposed plans as soon as possible.



Yours sincerely
 Agneta Matsuis

Hugo April to August

	Property No.:	715
	Township/Farm:	W

Please submit the application and supporting documents in the sequence indicated below:

NO.	REQUIRED DOCUMENT	ANNEXURE	ATTACHED (Yes/No or N/A)	FOR OFFICE USE
1.	Full Application with motivation by applicant	Annexure A	YES	✓
2.	Previous Council's Approval (if applicable)	Annexure B	N/A	—
3.	A. Locality Plans	Annexure C1	YES	✓
	B. Portion Number(s) from Surveyor General's Office (for subdivision of portions/farms)	Annexure C2	N/A	—
	C. Existing Zoning Plan	Annexure C3	YES	✓
	D. Intended Zoning Plan (for rezoning & township establishment)	Annexure C4	N/A	—
	E. Subdivision/Consolidation/Township Establishment Plan with Contours	Annexure C5	N/A	—
	F. Services Plans with Contours (for township establishment)	Annexure C6	YES	✓
	G. Parking Layout with Dimensions & Scale (not applicable to township establishment & vacant erven)	Annexure C7	YES	✓
	H. Copy of Diagram or Extract of General Plan approved by Surveyor General	Annexure C8	YES	✓
	I. Street Names Proposal Plan (for township establishment)	Annexure C9	N/A	—
4.	Conditions to be registered or maintained	Annexure D	N/A	—
5.	Special Power of Attorney (PoA) including revenue stamps with relevant initials	Annexure E	YES	✓
6.	Closure Certificate (if applicable)	Annexure F1	N/A	—
	Environmental Clearance Certificate (for all listed activities - except for the rezoning from Residential/General Residential to Office/Business; from any zoning to Hospitality within the built environment; or closure of public spaces, as such listed activities will be considered under delegated authority prior to the submission of the application to the Urban and Regional Planning Board)	Annexure F2	N/A	—
7.	Previous approvals of the Minister of Urban and Rural Development.	Annexure G	N/A	—
8.	Roads Authority approval and sketch plan indicating the access point(s) (for portions, farms and township establishments)	Annexure H	N/A	—
9.	NamWater approval and plan confirming availability / provision of water services (for township establishment within extended municipal boundary area and areas where there are no CoW bulk infrastructures in place)	Annexure I	N/A	—
10.	NamPower approval together with the sketch plan confirming the availability/ provision of electricital services (for township establishment within extended municipal boundary area and areas where there are no CoW bulk infrastructures in place)	Annexure J	N/A	—
11.	A. Copy of Founding Statement (CC) or Company Registration (for properties registered in the name of Close Corporation/Company/Organisation)	Annexure K1	YES	✓
	B. Copy of Board/Company Resolution authorising the PoA signature (for properties registered in the name of Close Corporation/Company/Organisation)	Annexure K2	N/A	—
12.	Copy of Title Deed/Deed of Transfer/Certificate of Registered Title	Annexure L	YES	✓
13.	Conditions of Establishment (applicable to township establishment)	Annexure M	N/A	—
14.	Proof of Payment of Municipal Council of Windhoek Application Fee	Annexure N	YES	✓
15.	Debt Management Credit Check (dated not later than 30 days from the date of submitting the application)	Annexure O	YES	✓

Please Note: All the aforesaid items are mandatory, unless it is mentioned that such item is only applicable to specific application(s). Any required additional documents that are not listed on the Checklist may be attached after No. 15

FOR OFFICE USE:	
RECEIVED BY: NAME: <input type="text" value="Selma Shamba"/>	SIGNATURE: <input type="text" value="S. Shamba"/>
APPLICATION ACCEPTED: <input checked="" type="checkbox"/>	STAMP: <input type="text"/>
APPLICATION NOT ACCEPTED: <input type="checkbox"/>	
Reason(s) for not accepting the application:	
<hr/>	

SUBMISSION:

Consent for 'business building' on Erf 715, Teinert Street
Windhoek for a car rental i/o Table B of Windhoek
Zoning Scheme

NÖ.	REQUIRED DOCUMENT	ANNEXURE	ATTACHED (Yes/No or N/A)
1.	Full Application with motivation by applicant	Annexure A	✓ <input checked="" type="checkbox"/>
2.	Previous Council's Approval (if applicable)	Annexure B	n/a
3.	A. Locality Plans	Annexure C1	✓ <input checked="" type="checkbox"/>
	B. Portion Number(s) from Surveyor General's Office (for subdivision of portions/farms)	Annexure C2	n/a
	C. Existing Zoning Plan	Annexure C3	✓ <input checked="" type="checkbox"/>
	D. Intended Zoning Plan (for rezoning & township establishment)	Annexure C4	n/a
	E. Subdivision/Consolidation/Township Establishment Plan with Contours	Annexure C5	n/a
	F. Services Plans with Contours (for township establishment)	Annexure C6	✓ <input checked="" type="checkbox"/>
	G. Parking Layout with Dimensions & Scale (not applicable to township establishment & vacant erven)	Annexure C7	✓ <input checked="" type="checkbox"/>
	H. Copy of Diagram or Extract of General Plan approved by Surveyor General	Annexure C8	✓ <input checked="" type="checkbox"/>
	I. Street Names Proposal Plan (for township establishment)	Annexure C9	n/a
4.	Conditions to be registered or maintained	Annexure D	n/a
5.	Special Power of Attorney (PoA) including revenue stamps with relevant initials	Annexure E	✓ <input checked="" type="checkbox"/>
6.	Closure Certificate (if applicable)	Annexure F1	n/a
	Environmental Clearance Certificate (for all listed activities - except for the rezoning from Residential/General Residential to Office/Business; from any zoning to Hospitality within the built environment; or closure of public spaces, as such listed activities will be considered under delegated authority prior to the submission of the application to the Urban and Regional Planning Board)	Annexure F2	n/a
7.	Previous approvals of the Minister of Urban and Rural Development.	Annexure G	n/a
8.	Roads Authority approval and sketch plan indicating the access point(s) (for portions, farms and township establishments)	Annexure H	n/a
9.	NamWater approval and plan confirming availability / provision of water services (for township establishment within extended municipal boundary area and areas where there are no CoW bulk infrastructures in place)	Annexure I	n/a
10.	NamPower approval together with the sketch plan confirming the availability/ provision of electrical services (for township establishment within extended municipal boundary area and areas where there are no CoW bulk infrastructures in place)	Annexure J	n/a
11.	A. Copy of Founding Statement (CC) or Company Registration (for properties registered in the name of Close Corporation/Company/Organisation)	Annexure K1	✓ <input checked="" type="checkbox"/>
	B. Copy of Board/Company Resolution authorising the PoA signature (for properties registered in the name of Close Corporation/Company/Organisation)	Annexure K2	n/a
12.	Copy of Title Deed/Deed of Transfer/Certificate of Registered Title	Annexure L	✓ <input checked="" type="checkbox"/>
13.	Conditions of Establishment (applicable to township establishment)	Annexure M	n/a
14.	Proof of Payment of Municipal Council of Windhoek Application Fee	Annexure N	✓ <input checked="" type="checkbox"/>
15.	Debt Management Credit Check (dated not later than 30 days from the date of submitting the application)	Annexure O	✓ <input checked="" type="checkbox"/>

Enquiries: T. Tjitemisa
Tel: +264 81 416 6169
Ref: Erf 715W Council

Strategic Executive
Department of Urban Planning and Property Management
Windhoek City Council
P O Box 59
WINDHOEK

9 APRIL 2025

ATTENTION: Ms. Kristofina Asino

Dear Ms. Asino

APPLICATION FOR CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK

1. APPLICATION

Application is herewith submitted on behalf of the owners of the erf, Drongos Investment Close Corporation, to the City Council of Windhoek for the:

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

The Erf is under the registered ownership of Drongos Investment Close Corporation. See the Title Deed attached. Drongos Investment Close Corporation appointed Du Toit Town Planning Consultants to complete the town planning procedures required by the Municipality for the consent application for Erf 715, Windhoek.

The Special Power of Attorney, authorizing Du Toit Town Planning Consultants, to attend to the consent for the erf, are attached hereto. All necessary annexures, as required by the City of Windhoek (CoW) are attached hereto.

1. ERF INFORMATION

1.1. Locality and size

The project erf is located in Teinert Street, which places it in the central area of the city, just south of the central business district. It is parallel to Mandume Ndemufayo Drive, but no access is taken from there. The erf is also closely located to the GAME centre on Erf 6880, Windhoek. The erf is 1659m² in extent.

See figure 1 overleaf illustrating the locality of Erf 715, Teinert Street, Windhoek. The locality plan is attached as Annexure C1 for optimal clarity.



Figure 1: Locality of Erf 715, Windhoek

1.2. Existing land use and Current zoning

The project Erf is currently zoned as 'office' with a bulk of 0.4 and currently accommodates the existing Namibia Car Rental Offices. See image below on the extent of existing development.

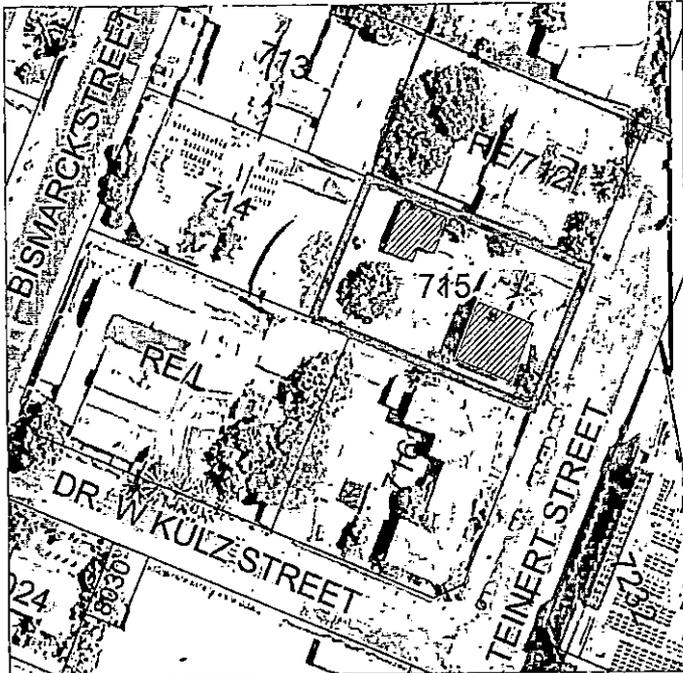


Figure 2 : Existing development

2. REGISTERED CONDITIONS

The conditions registered against Erf 715, Teinert Street, Windhoek are contained in the Deed of Transfer T0919/2024 of which a copy is attached (**Annexure J**). It is the old, long title conditions that are registered against the property. It should be changed to the standard Zoning Scheme conditions should there be a change in ownership.

3. PROPOSAL

3.1. Consent

The owner was recently informed by the City of Windhoek that although in operation for many years, the operation of the Namibia Car Rental on Erf 715, Windhoek is not in compliance with the office zoning of the Erf. The erf is currently zoned for 'office' with a bulk of 0.4. The Windhoek Zoning Scheme does not permit the operation of a car rental as a primary use on office zoned erven, however, consent to operate a car rental on the office zoned Erf can be obtained from the City of Windhoek under the definition of a 'business building'.

See the extract from the Windhoek Zoning Scheme below.

XII	Offices	Dwelling units, Residential buildings, Institutions, Places of public worship, Business buildings, hotels, Restaurant	Other uses not under columns 2 and 3
Office			

Business building means a building designed and/or used as offices, warehouses, medical or dental consulting rooms, laboratories or other business purposes but does not include other buildings specifically defined or mentioned elsewhere in this Scheme with the exception of offices.

It is to this end that this application is now made.

4. MOTIVATION

4.1. Need and Desirability

Namibia Car Rental have been operational in Namibia for at least 13 years. The company acquired Erf 715, Windhoek, due to its central locality and accessibility to major arterial and connector roads. As a well-established business in Windhoek, the car rental service contributes significantly to the mobility of both locals and visitors, supporting tourism, and business travel. The continuity of the Namibia Car Rental operation is integral to the provision of these services, which are crucial to the city's economic development and the broader tourism infrastructure of the region.

From a desirability perspective, granting consent for the Namibia Car Rental operation to continue on the office-zoned Erf 715 would align with the growing demand for transportation solutions in Windhoek. The business's location on Erf 715 is strategically situated to serve a large customer base, including corporate clients, and residents in need of vehicle rental services. Furthermore, the car rental service supports local employment and contributes to the community by providing jobs and services that are in demand. The request for consent reflects a practical approach to integrating this essential service within the city's existing framework, recognizing that the car rental business has operated in this location for many years without significant issues.

Thus, granting consent would not only allow the Namibia Car Rental to continue providing a valuable service to Windhoek but also ensure that the business remains compliant with the City's regulations while contributing to the economic and social fabric of the area. It is therefore both necessary and desirable for the City of Windhoek to grant consent for the continued operation of this service on Erf

The majority of erven surrounding Erf 715, are of an office/business nature in the neighbourhood. This is mainly due to the accessibility to the City Centre. Almost all the residential uses have been converted to more commercial uses.

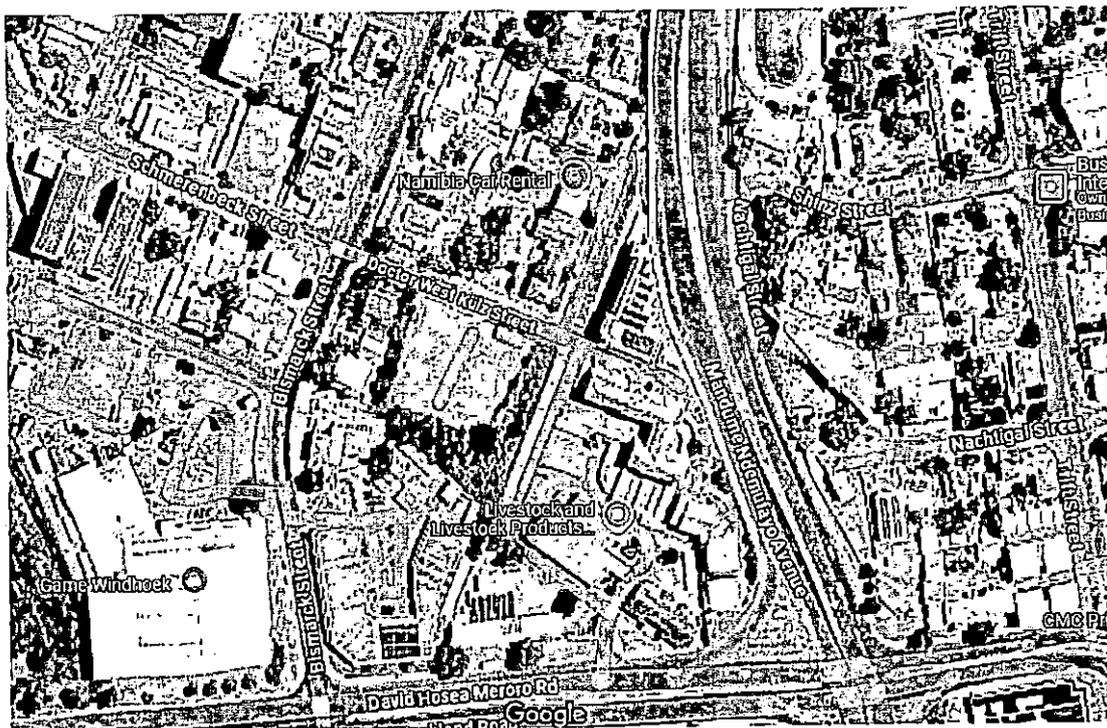


Figure 3: Google maps extract of activities surrounding Erf 715

5. SERVICES

Erf 715, Teinert Street, Windhoek is already connected to the municipal network.

6. PARKING AND ACCESS

Access to Erf 715 is from Teinert Street.

The erf has sufficient parking for a number of vehicles. As per the calculations, the office floor area is $\pm 141,6\text{m}^2$ which would require 6 parking bays.

A total of 10 is shown but it is clear there is space available for more vehicles.

See below the parking plan. Please find the parking plan attached as Annexure C4.

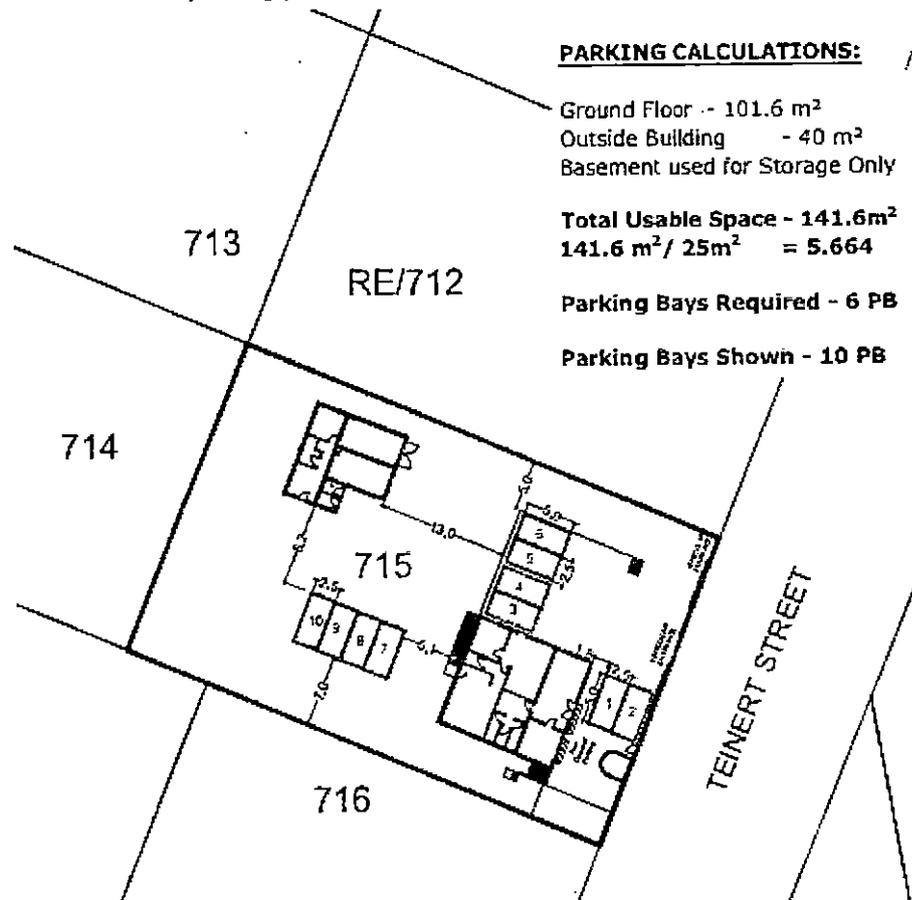


Figure 4: Parking layout for existing building

7. ADVERTISING PROCEDURES

Notice of the application will be given to the prescribed persons as well as the general public upon receipt of the complete application by Council in terms of section 105 (Section 107, subsection (1)) of the recently promulgated Urban and Regional Planning Act, 2018 (Act 5 of 2018).

8. CONCLUSION

In conclusion, the Namibia Car Rental's operation on Erf 715, Windhoek, serves a vital role in supporting the transportation needs of both the local community and visitors to the city. The long-standing presence of this business highlights its importance to the local economy and tourism sector. Given the strategic location and the ongoing demand for car rental services, granting consent for the continued operation of the business on the office-zoned erf is not only necessary but also highly desirable. It allows

the Namibia Car Rental to remain compliant with zoning regulations while continuing to contribute positively to the city's growth and development.

Therefore, we request that the City of Windhoek grant consent for the operation of Namibia Car Rental on Erf 715 to ensure the continuation of this essential service.

9. APPLICATION

Application is herewith made for:

- Consent in terms of Table B of the Windhoek Zoning Scheme for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

10. LIST OF ANNEXURES

Please find attached 3 copies of the following:

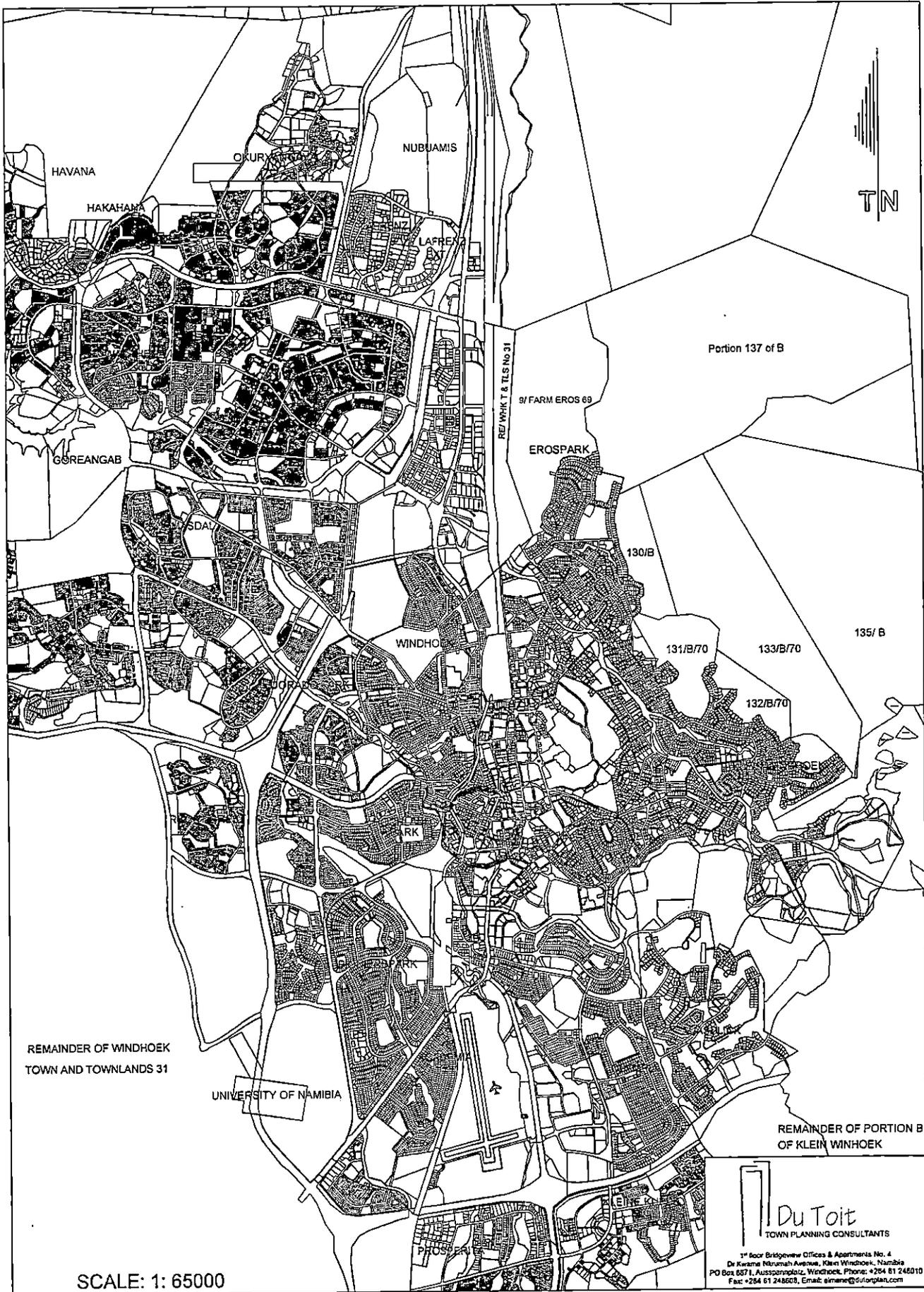
Annexure	C1:	Locality Plan
	C2:	Zoning Certificate
	C3:	Consent Plan
	C4:	Parking Plan
	C5:	Erf Diagram
Annexure	E:	Special Power of Attorney
Annexure	K1:	Amended Founding Statement
Annexure	L:	Copy of Title Deed
Annexure	L:	Proof of Payment
Annexure	M:	Credit Check Certificate

Kind regards,



Dorette Opperman

LOCALITY PLAN OF ERF 715 TEINERT STREET WINDHOEK



REMAINDER OF WINDHOEK TOWN AND TOWNLANDS 31

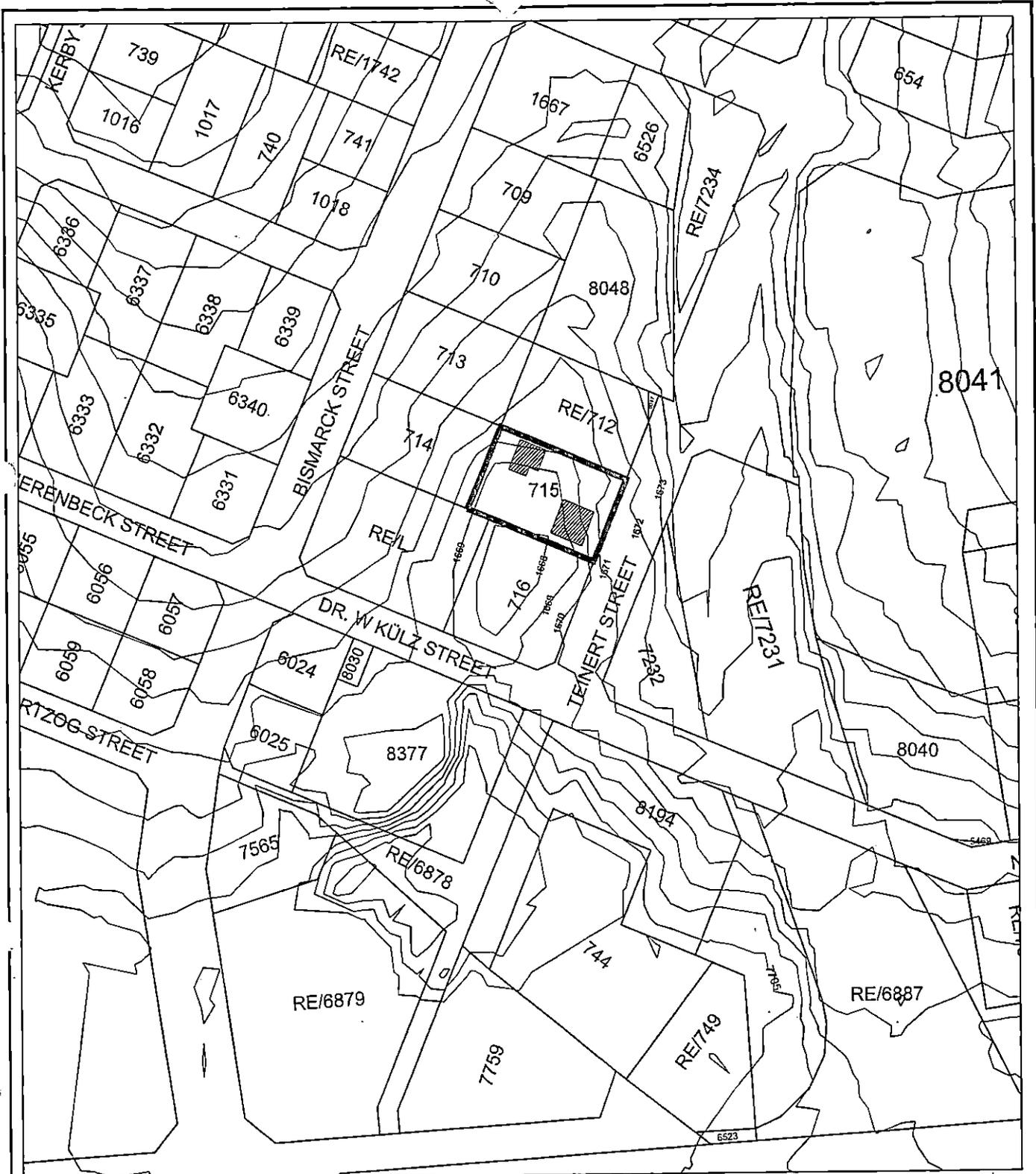
UNIVERSITY OF NAMIBIA

REMAINDER OF PORTION B OF KLEIN WINDHOEK

SCALE: 1: 65000

Du Toit
TOWN PLANNING CONSULTANTS

3rd floor Bridgeview Offices & Apartments No. 4
Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
PO Box 6571, Ausspannplatz, Windhoek. Phone: +264 61 246010
Fax: +264 61 248609, Email: airmane@duitoit.com



 EXISTING BUILDINGS

Scale: 1/2000

DATE: MARCH 2025

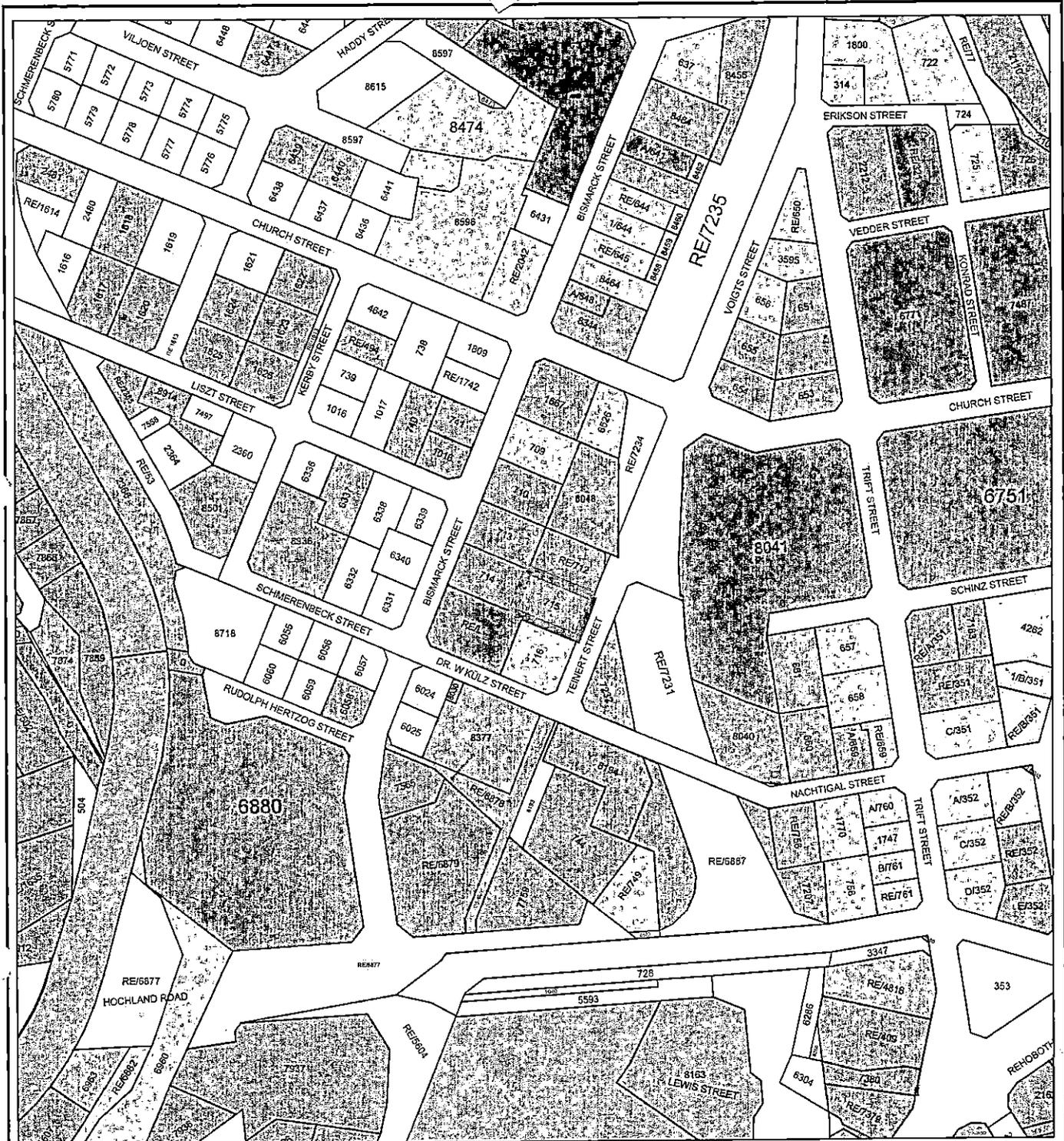
PLAN NO. 715WW



Consent in terms of Table B of the Windhoek town Planning Scheme to use Erf 715, Windhoek for a car rental



1st floor Bridgeview Offices & Apartments No. 4
 Dr. Kwame Nkrumah Avenue, Klein Windhoek, Namibia
 PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
 Fax: +264 61 248603, Email: etmarie@dutoitplan.com



ZONING LEGEND

- RESIDENTIAL
- BUSINESS
- PUBLIC OPEN SPACE
- MUNICIPAL
- GENERAL RESIDENTIAL
- OFFICE
- INSTITUTIONAL
- SPECIAL

CURRENT ZONING OF ERF 715
TEINERT STREET
WINDHOEK

("OFFICE")

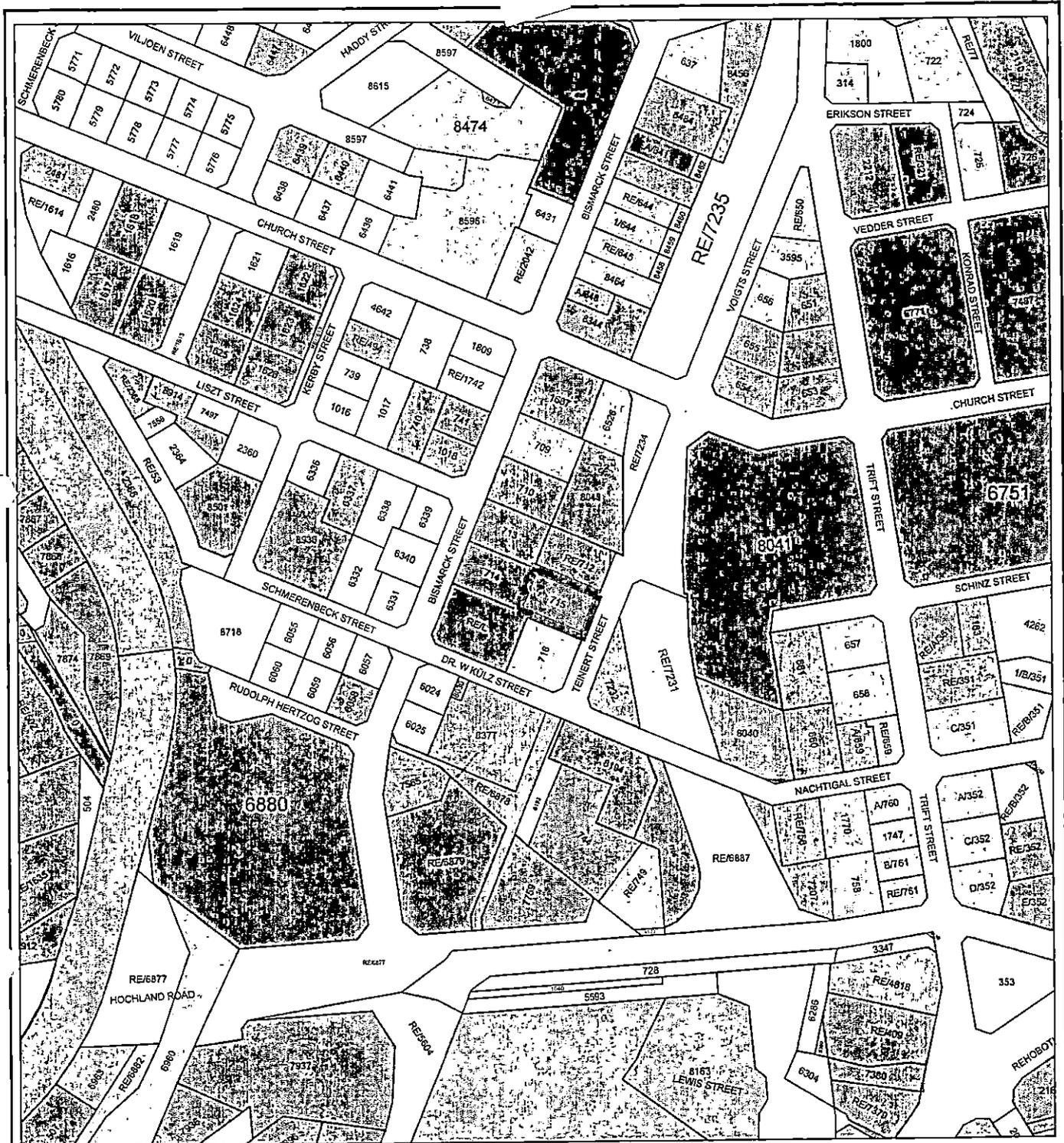
DATE: MAR.2025

SCALE: 1/4000

PLAN NO. AMS



1st floor Bridgeview Offices & Apartments No. 4
Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
Fax: +264 61 248608, Email: eimario@dutoitplan.com



ZONING LEGEND

- | | | | |
|---|--|---|---|
|  RESIDENTIAL |  BUSINESS |  PUBLIC OPEN SPACE |  MUNICIPAL |
|  GENERAL RESIDENTIAL |  OFFICE |  INSTITUTIONAL |  SPECIAL |

CONSENT IN TERMS OF TABLE B OF THE WINDHOEK TOWN PLANNING SCHEME TO USE ERF 715, WINDHOEK FOR A CAR RENTAL, UNDER "OFFICE" ZONING



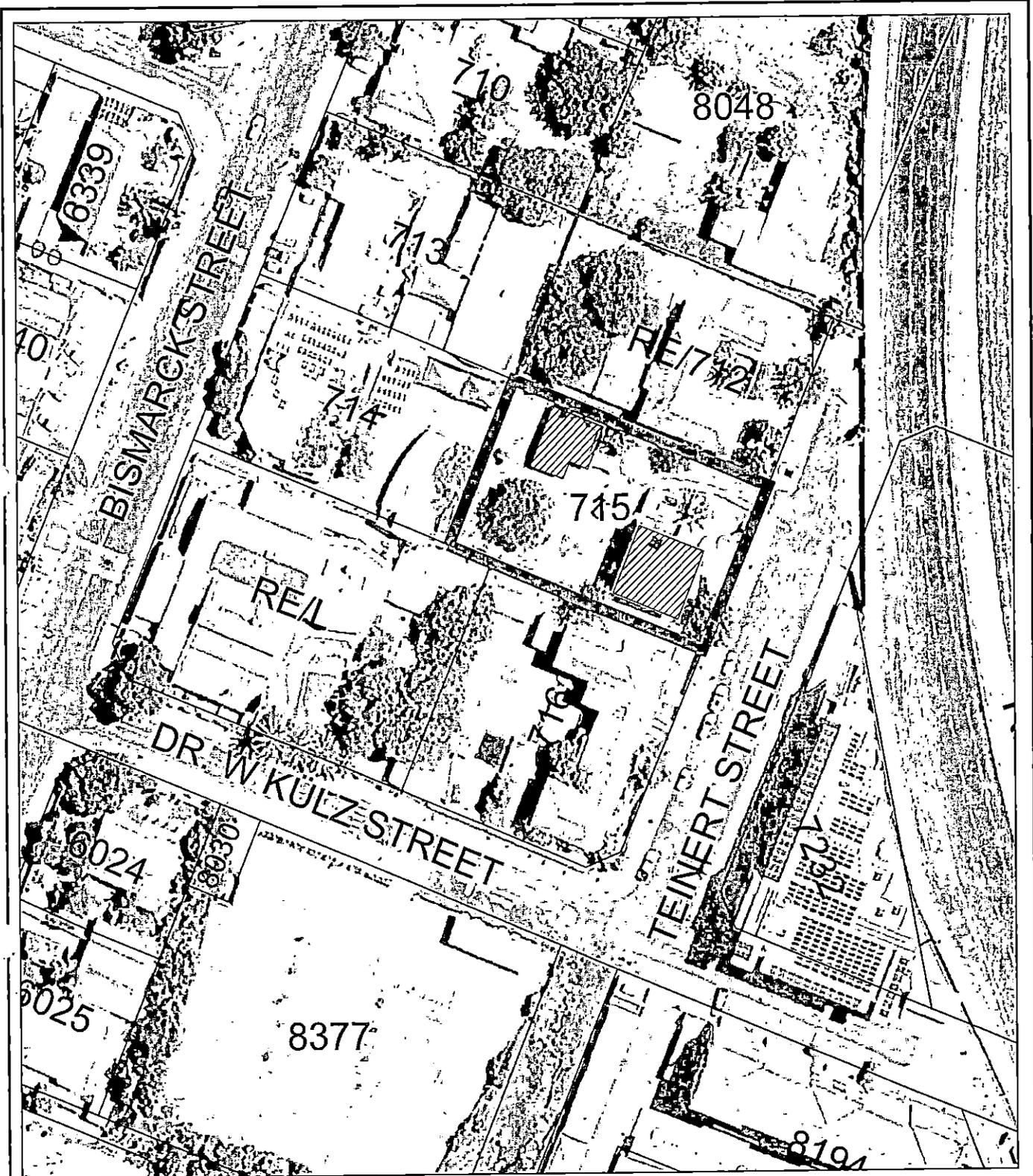
DATE: MAR.2025

SCALE: 1/4000

PLAN NO. AMS



1st floor Bridgeview Offices & Apartments No 4
 0: Kwame Nkrumah Avenue, Klein Windhoek, Namibia
 PO Box 6871, Aussspanplatz, Windhoek. Phone: +264 61 248010
 Fax: +264 61 248603, Email: elmarie@duoitplan.com



Scale: 1/1000

DATE: MARCH 2025

PLAN NO. 715WW



Consent in terms of Table B of the Windhoek
town Planning Scheme to use Erf 715,
Windhoek for a car rental



Du Toit
TOWN PLANNING CONSULTANTS

1st floor Bridgeview Offices & Apartments No. 4
Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
Fax: +264 61 248608, Email: eimarie@dutoitplan.com

PARKING CALCULATIONS:

Ground Floor - 101.6 m²
 Outside Building - 40 m²
 Basement used for Storage Only

Total Usable Space - 141.6m²
141.6 m²/ 25m² = 5.664

Parking Bays Required - 6 PB

Parking Bays Shown - 10 PB

713

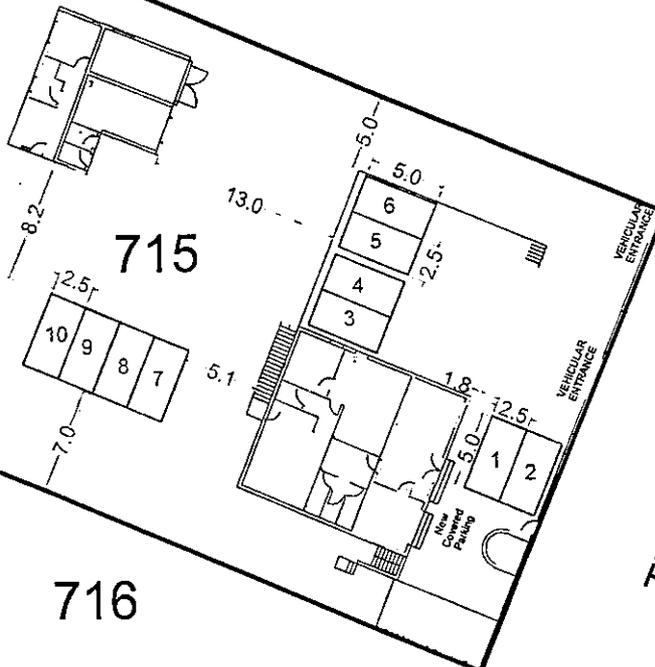
RE/712

714

715

716

TEINERT STREET



EXISTING BUILDINGS

PARKING LAYOUT FOR THE:

CONSENT IN TERMS OF TABLE B OF THE
 WINDHOEK TOWN PLANNING SCHEME TO
 USE ERF 715, WINDHOEK FOR A CAR
 RENTAL

Scale: 1/500

DATE: APRIL 2025

PLAN NO. 715WW



Du Toit
 TOWN PLANNING CONSULTANTS

1st floor Bridgeview Offices & Apartments No. 4
 Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
 PO Box 6871, Ausspannplatz, Windhoek. Phone: +264 61 248010
 Fax: +264 61 248508, Email: elmaris@dutoitplan.com

**Town Planning Certificate No. 1:
Town Planning Scheme Information**

131

Ref : _____

Enq : _____

Tel : _____

Applicants Address _____

Telephone Number : _____

Sir / Madam

Erf No: 715

Township : WINDHOEK/WINDHOEK BLOCKS

Street : TEINERT STR

In terms of the Windhoek Town Planning Scheme the following conditions apply to the above mentioned erf.

- | | | |
|------------------|----------------------|-------------------|
| 1. Use Zone : | OFFICE | Refer to Table B. |
| 2. Density : | _____ | Refer to Table E. |
| 3. Bulk Factor : | 0.4 08 | Refer to Table F. |
| 4. Coverage : | _____ | Refer to Table G. |
| 5. Erf Size : | 1 659 m ² | |
| 6. Parking : | _____ | |

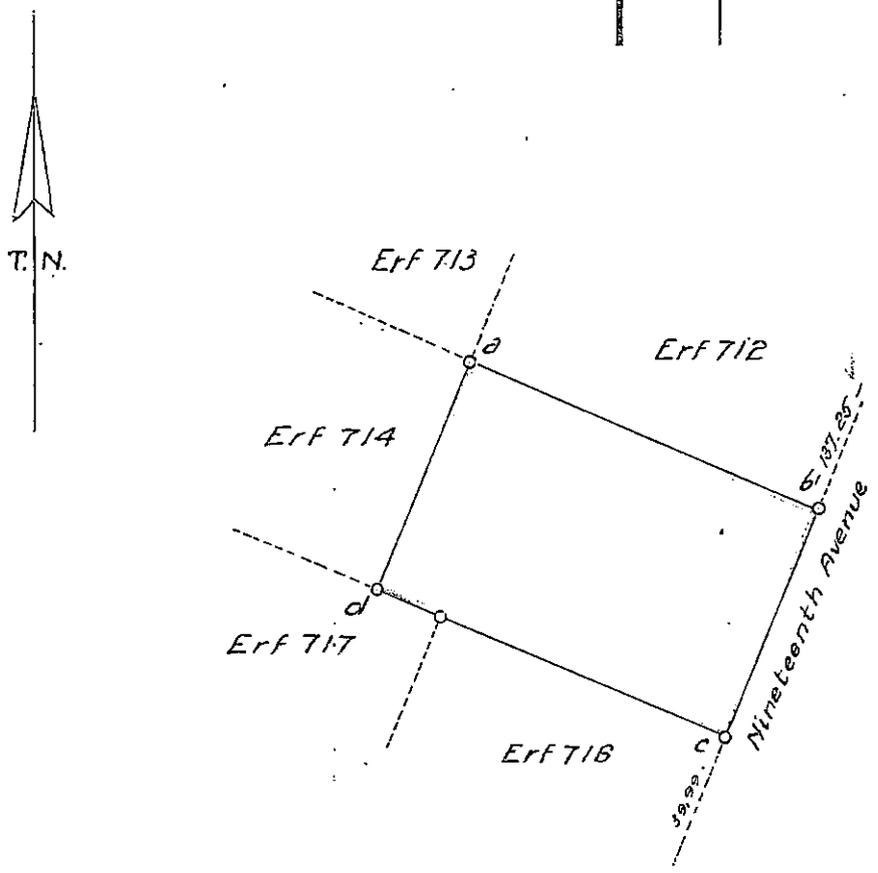
(The parking ratio should be confirmed with the Transportation Department for erven in the business zone, and for restaurants, grouped housing schemes, hotels, bed & breakfasts, resident occupations, places of amusement, social halls and churches)

7. Street Build Lines _____
8. Position Of Buildings : _____
9. Street Address : 4 TEINERT STR _____
10. Flood Line : _____
- 11 Height Restriction : _____ Refer to Table J.
12. Street Reservation : _____
13. Other : _____

The TOWN PLANNING SCHEME and MAP are open for inspection on the passage wall of the 7th floor of the town house. The information provided herein must be verified by the applicant by inspection of the Scheme and Map.

Your attention is further directed to any condition which may be registered against your property in the title deeds. You may be required to furnish a certified copy of the title deeds conditions before any building plans are approved.

Sides metres		Angles	
a-b	51,26	a	90 08 20
b-c	32,35	b	89 51 40
c-d	51,26	c	90 08 20
d-a	32,36	d	89 51 40



Scale 1: 1000

The above Figure lettered *a b c d* represents Hectare 16 Are 59 Sq. Metres 16 Sq. decimetres of Land being

Erf. No. 715.

being ^{portion} ~~part~~ of Block L

situate in the Township of Windhoek, SOUTH WEST AFRICA according to ^{Diagram} ~~General Plan~~ S.G. No A 172/23 framed ⁱⁿ by Surveyor General's Office in May 1923.

Bounded as indicated above.

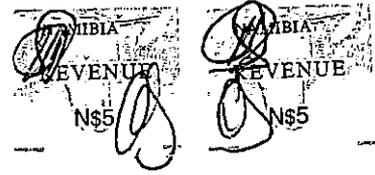
The angular points have been properly defined on the ground according to regulations. Surveyed in May 1929 by me

Formerly Pazelle

[Signature]
Land Surveyor.

Examined <i>[Signature]</i>	Approved	This Diagram is annexed to Deed of Transfer No. 915/1928 Registered this day
<i>[Signature]</i>		

SPECIAL POWER OF ATTORNEY



We, the undersigned

HOWARD IAN SIVERTSEN AND OWEN JOHN SIVERTSEN

duly authorized thereto and acting on behalf of

DRONGOS INVESTMENT CLOSE CORPORATION (CC/2023/07717), THE OWNER OF ERF 715, WINDHOEK

do hereby nominate, constitute and appoint

DU TOIT TOWN PLANNING CONSULTANTS

with power of Substitution, to be my lawful Agent in my name, place and stead, to make the necessary application to the **CITY OF WINDHOEK MUNICIPALITY** for:

- **CONSENT IN TERMS OF TABLE B OF THE WINDHOEK TOWN PLANNING SCHEME TO USE ERF 715, WINDHOEK FOR A CAR RENTAL**

at the cost of the applicant and generally for effecting the purpose aforesaid, to do or cause to be done whatsoever shall be requisite, as fully and effectually, for all intents and purposes I might or could do if personally present and acting herein – hereby ratifying, allowing and confirm all and whatsoever my said Agent shall lawfully do or cause to be done, by virtue of these present.

Signed at Windhoek this 3 day of MARCH 2025, in the presence of the undersigned witnesses

WITNESSES:

1.

2.

1.

2.

Four handwritten witness signatures on horizontal lines.

Handwritten signature of the subscriber on a horizontal line.

SUBSCRIBER

SUBSCRIBER



CC2

Amended Founding Statement



Before filling in the form, first see notes on page 2.

REGISTRATION NUMBER OF CORPORATION CC/2023/07717	DATE OF RECEIPT PENDING APPROVAL
--	-------------------------------------

PART A

	Dates of commencement of change
Full name of corporation <u>DRONGOS INVESTMENT CLOSE CORPORATION</u>	*
Previous name of corporation (if applicable)* <u>N/A</u>	*
Literal translation of name (if applicable)* <u>N/A</u>	*
Shortened form of name (if applicable)* <u>N/A</u>	*
Description of principal business* <u>Letting, Renting and Buying of Property and Investing in Property and all related business</u>	*
Date of end of financial year* <u>THE LAST DAY OF FEBRUARY EACH YEAR</u>	*

PART B

Postal address* <u>P. O. BOX 9851 EROS, WINDHOEK, NAMIBIA</u>	* 18 JAN 2024
Email address: <u>cjsmith@ongurukena.com</u>	
Address of registered office (not post office box)* <u>10 KERBY STREET, WINDHOEK, NAMIBIA</u>	* 18 JAN 2024
Name and address of accounting officer* <u>CJ SMITH & CO. P. O. BOX 9851 EROS, WINDHOEK, NAMIBIA</u>	*

(Attach written consent to appointment)

Full name of association or body of which accounting officer is a member NAMIBIA INSTITUTE OF PROFESSIONAL ACCOUNTANTS

Membership/Practice No. 20002

Signature of previous accounting officer:

Signature of current accounting officer:

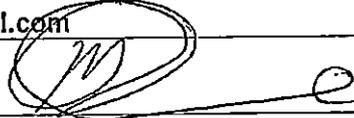
* See note 2 on page 2

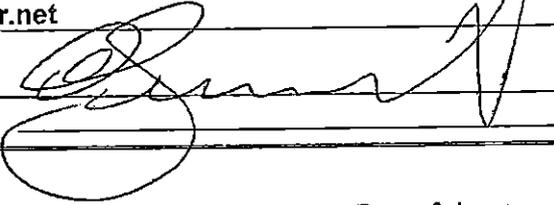
NAME OF CORPORATION

DRONGOS INVESTMENT CLOSE CORPORATION

REGISTRATION NUMBER	CC/2023/07717
---------------------	---------------

PART C

MEMBERS 2 (TWO)		Date of Change															
Full names and surname	HOWARD IAN SIVERTSEN	1 8 JAN 2024															
Identity number or date of birth	(i) <table border="1"> <tr> <th>Year</th> <th>Month</th> <th>Day</th> </tr> <tr> <td>6</td> <td>7</td> <td>0</td> </tr> <tr> <td>8</td> <td>2</td> <td>8</td> </tr> <tr> <td>0</td> <td>0</td> <td>1</td> </tr> <tr> <td>9</td> <td>3</td> <td></td> </tr> </table>	Year	Month	Day	6	7	0	8	2	8	0	0	1	9	3		1 8 JAN 2024
Year	Month	Day															
6	7	0															
8	2	8															
0	0	1															
9	3																
Registration number	(ii)																
Percentage of interest	50%	Particulars of contribution N\$ 50,00															
Residential address	55B DR. KWAME NKRUMAH AVENUE, LUDWIGSDORF, WINDHOEK, NAMIBIA																
Postal address	P. O. BOX 90196 KLEIN WINDHOEK, WINDHOEK, NAMIBIA																
Email address:	hs@namibiacarrental.com																
Signature of member or representative																	

Full names and surname	OWEN JOHN SIVERTSEN	1 8 JAN 2024															
Identity number or date of birth	(i) <table border="1"> <tr> <th>Year</th> <th>Month</th> <th>Day</th> </tr> <tr> <td>6</td> <td>9</td> <td>0</td> </tr> <tr> <td>2</td> <td>0</td> <td>7</td> </tr> <tr> <td>0</td> <td>0</td> <td>3</td> </tr> <tr> <td>0</td> <td>8</td> <td></td> </tr> </table>	Year	Month	Day	6	9	0	2	0	7	0	0	3	0	8		1 8 JAN 2024
Year	Month	Day															
6	9	0															
2	0	7															
0	0	3															
0	8																
Registration number	(ii)																
Percentage of interest	50%	Particulars of contribution N\$ 50,00															
Residential address	3 ZIEGLER STREET, KLEIN WINDHOEK, WINDHOEK, NAMIBIA																
Postal address	P. O. BOX 90196 KLEIN WINDHOEK, WINDHOEK, NAMIBIA																
Email address:	owen@solar-saver.net																
Signature of member or representative																	

Witness Signature  Date of signature **08 December 2023**

Full names **GEORGINE FRANZERINE PLATT**

Residential address **NO. 16 BABIE STREET, SUIDERHOF, WINDHOEK, NAMIBIA**

Business address **362 SAM NUJOMA DRIVE, KLEIN WINDHOEK, WINDHOEK, NAMIBIA**

Postal address **P. O. BOX 86477 EROS, WINDHOEK, NAMIBIA**

Email address: **gina@law.na**

PREPARED BY ME:

W. Hall
CONVEYANCER
ERASMUS, L

08 MAR 2024	OSOT	2024
Nb 4	000 000 00	(with preference for)
	not exceeding	A\$ 800 000 00
REGISTRAR OF DEEDS		

T 09197 2024

DEED OF TRANSFER

Be it hereby made known

THAT LINDA ERASMUS

appeared before me, Registrar of Deeds at WINDHOEK she, the Appearer, being duly authorized thereto by a Power of Attorney granted to her by

FOR INFORMATION ONLY

CONSULTANTS COURT CC
Registration Number: CC/94/00263

Signed at LUBANGO on 27 NOVEMBER 2023

AW

AW

And the said Appearer declared that his Principal had truly and legally sold on 31 OCTOBER 2023

and that he in his capacity aforesaid did, by these presents, cede and transfer, in full and free property, to and on behalf of:-

DRONGOS INVESTMENT CLOSE CORPORATION

Registration Number: CC/2023/07717

Its Successors in Title or Assigns

CERTAIN: Erf No. 715 Windhoek

SITUATE: In the Municipality of Windhoek
Registration Division "K"
Khomas Region

MEASURING: 1659,16 (One Six Five Nine comma One Six)
Square Metres

First transferred by Deed of Transfer No. T915/1948 with Diagram relating thereto and held by Deed of Transfer No. T2910/1995

A. **SUBJECT** to the following conditions created in the said Deed of Transfer No. T915/1948 imposed by the Council of the Municipality of Windhoek for its benefit, namely:-

"The said Council shall not be liable to the said Purchaser or to his or its successors in title for compensation in case any alteration in the levels of any street or streets adjoining the said property or in any portion of such streets is effected at any time by the said Council.

In the event of the said Council at any time laying out and constructing such streets at a level differing from the average level of the said property at the boundary line between it and the said street or streets, then the Purchaser or his or its successors in title, shall, within three months after written notice of

FOR INFORMATION ONLY

Handwritten initials and marks at the bottom right of the page.

intention so to lay out and construct any such street having been addressed to him or it by the said Council, at his own costs construct a retaining wall on the said property at any such boundary line of sufficient height and strength so as effectually to prevent any portion of the said property falling into the street and vice versa.

All such retaining walls shall be built in consultation with the said Council and shall be subject to its approval. Should the said Purchaser or his or its successors in title fail to comply with the provisions of this clause, the said Council shall be entitled to build any such retaining walls and to enter upon the property for that purpose and shall be entitled to recover the costs thereof from the said Purchaser or his or its successors in title."

B. FURTHER SUBJECT to the following conditions imposed by Notarial Deed No. 91/1959 in favour of the said Council of the Municipality of Windhoek, namely:-

1. This erf shall be used for residential purposes only and a block of flats with one main building together with the necessary outbuildings and appurtenances shall be erected on this erf, provided that:
 - a. the main building does not exceed three storeys in height, i.e. ground floor and two additional floors;
 - b. offstreet parking to the extent of one independent open car space per every two flat units be provided;
 - c. an independent car space be provided for every two flat units;
 - d. the maximum coverage of 40% when the ground floor and one additional floor is erected and 33 1/3% when the ground floors are erected. Public stairways, galleries, entrance halls and balconies will only count as half coverage. Covered car spaces will not be included as coverage,
 - e. the minimum value of the main building exclusive of outbuildings shall be N\$ 6 000,00.

FOR INFORMATION ONLY

AN

T

MD

2. No new buildings or structures or any portions thereof, except the boundary walls or fences shall be erected nearer than 5 metres to the street line which forms a boundary of this erf, nor within 3 metres of any lateral or rear boundary common to an adjoining erf.
3. Outbuildings and/or servants quarters erected on this erf may not be occupied by anyone except the bona fide domestic servants of the registered owner or his tenant.
4. In the event of the lower ground floor of the existing building being converted into a flat, a W.C. for the use of the domestic workers is to be provided before the flat is occupied.

FOR INFORMATION ONLY

ATTN

Y

MD

INV2025272842

INV2025 142¹²

CITY OF WINDHOEK

P O Box 59, WINDHOEK NAMIBIA

Telephone No: (061) 290 2911

TAX INVOICE

VAT Reg. Number 2646057-01-5



Invoice Number : INV2025272842	Date Issued : 4/8/2025
Account Number : N/A	Vote Number : 5000132050048
Name : DU TOIT TOWN PLANNING CONSULTANTS	Reference Number : ERF 715 W
Address : P O BOX 6871, AUSSPANPLATZ	System Reference : INV431474
	Issued By : 90144 - HUUMBWA (R)
	Contact Details : +264 61 290 2283/2643
Description : CONSENT TO USE ERF 715, W FOR A 'BUSINESS BUILDING' FOR A CAR RENTAL COMPANY UNDER THE 'OFFICE ZONING'	

PAYMENT DUE

Total Amount Excluding VAT	: N\$ 1739.13
Total VAT Amount	: N\$ 260.87
Total Amount Payable	: N\$ 2000.00

INVOICE DETAILS

Department : 5000 - URBAN & TRANSPORT PLANNING

Tariff Code	: N/A
Tariff Description	: N/A
Quantity Provided	: 1
Unit Price	: N\$ 1739.13
Tariff Amount Excluding VAT	: N\$ 1739.13
Tariff VAT Amount	: N\$ 260.87
Tariff Total Amount	: N\$ 2000.00
Service Code	: N/A



Receipt



Transaction with transaction id 57271874 submitted
successfully.

NAD **2,000.00**

CITY OF WINDHOEK

FIRST NATIONAL BANK NAMIBIA

62012146115

Transaction ID

57271874

From

DU TOIT

Date

Apr 9, 2025

Payment: Priority

Normal

My Reference

COWAppFee Erf 715 Whk

Their Reference

715 Whk consent

Disclaimer

Any confirmation of a transaction must not be constructed as a confirmation of credit into a beneficiary's account
Due to the nature of the internet, transactions may be subjected to interruption, transmission blockout, delayed
transmission and incorrect data transmission

The Bank is not liable for malfunctions in communication facilities not within its control that may affect the
accuracy of timeliness of messages and transactions you send.

All transactions are subject to our verification and our normal fraud checks.



Department of Finance and Customer Service
Debt and Risk Management Division

PO. Box 59, Windhoek, Namibia

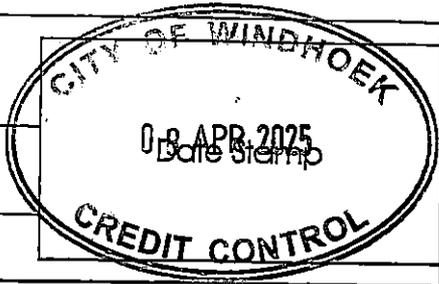
DEBT MANAGEMENT CREDIT CHECK FORM

Surname: SIVERTSEN First name(s): HONARD IAN
 Erf/stand no: 715 Township: WINDHOEK
 If company or registered under cc; DRONGOS INVESTMENT CC H+O
 Namibian I. D / Passport no.: 670828 00193
 Postal/Private Bag address: _____ Township of address: _____
 Physical Residential or Business address: _____
 Tel no _____ (H) _____ Cell _____

CREDIT CONTROL

Service Accounts
 Credit Control Officer Comments:
NO appears on service accounts

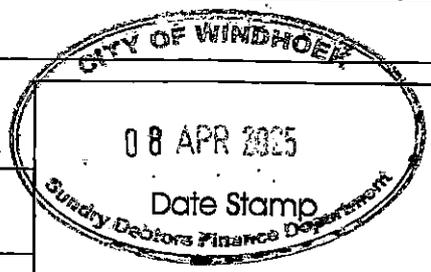
Name of Credit Controller: paulus
 Signature: Rdjembela



SUNDRY DEBTORS - LAND SALES

Comments:
No Accounts

Name of Credit Controller: esia
 Signature: E. F. SIVERTSEN
 Accountant Land Sales: _____



MEMORANDUM



The Gateway to Endless Opportunities

TO : Department of Urban and Transport Planning

FROM : Chief Engineer Roads and Storm Water Planning, Design & Traffic Flow

ENQ : L. Nambinga

REF : L/715/W

DATE : 29 April 2025

Mr. H. Rust

RE: APPLICATION FOR CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK.

The application dated 9 April 2025, for the proposed, Consent for a 'Business Building' under the 'Office' zoning for the operation of a Car Rental on Erf 715, no. 4 Teinert street, refers.

A storm water investigation was done, and the following is reported:

1. The proposed Erf 715 has a general downward slope from the northeast into a southwesterly direction.
2. There is a stormwater course flowing across the central part of the proposed Erf 715, flowing from the northeast into a southwesterly direction.
3. It is indicated that access to the proposed Portion on Erf 715, Windhoek, is obtained from Teinert Street.

This Division has no objection to the proposed Consent for a 'Business Building' under the 'Office' zoning for the operation of a Car Rental on Erf 715, no. 4 Teinert street, Windhoek, provided:

1. That surface storm water runoff be accommodated according to Clause 35 of the Town Planning Scheme (see Info 35 of the Town Planning Scheme) stating:
 - (1) That no stormwater drainage pipe, canal, work, or obstruction (except stormwater drainpipes, canal or works which have been authorized in writing by the local authority or which have been or may be built, laid, or erected in terms of any law) may be constructed on or over the property or located in such a way that –

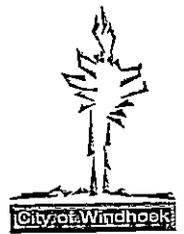
- (a) the flow of stormwater from higher lying property to lower lying property is impeded or obstructed and through which any property is or may be endangered; or
 - (b) the flow of a natural watercourse (in which the local authority allows flood water to run off, be discharged or to be canalized) is or can be changed, canalized or impeded.
 - (c) the maintenance of such stormwater pipe, channel or work shall be the responsibility of the owner of the concerned property.
2. That prior approval must be obtained from the Chief Engineer: Planning, Design & Traffic Flow if the accommodation of the stormwater on the proposed portions is contemplated.
3. That Engineering drawing on how the stormwater would be accommodated to the satisfaction of the Chief Engineer, Planning, Design & Traffic Flow be submitted for approval simultaneously with the building plans.
4. That all existing stormwater pipes, outlets and inlets or any other stormwater system be clearly indicated on all building plans submitted prior to the approval thereof.
5. That no closure of any stormwater systems will be allowed.
6. That no building plan will be approved until the above stormwater conditions are met.
7. That no access be allowed over any stormwater structure or catchpit.
8. That no development be allowed onto or over any stormwater system or structure.
9. That the Engineer verifies any stormwater related works upon completion thereof.
10. That a condition for the resale of this property be included in the Title Deed of the erf, whereby transfer to a third party only take place with the approval of the City of Windhoek. [Approval will only be granted after the Strategic Executive: Urban and Transport Planning has certified that the stormwater has been accommodated satisfactorily.]

MEMO ¹⁴⁷ NDUM

TO: Mr. H. Rust

DATE: 20 May 2025

FROM: INF: Engineering Services Division REF: L/715/W



SUBJECT: CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, TEINERT STREET, WINDHOEK.

The application dated 09 April 2025 regarding the Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek, refers.

The application can only be approved under the following conditions:

1. That any additional requirements with regard to water and sewer services brought on as a direct consequence of the consent use or subsequent activities will be for the cost of the applicant, subject to approval by the Strategic Executive: Infrastructure, Water and Technical Services.

.....
SECTION ENGINEER
OC Archer

TO: Urban Planning
R. Kwenani

DATE: 27 May 2025

FROM: Section Engineer: Roads Planning & Traffic
Flow

REF: L/715/W

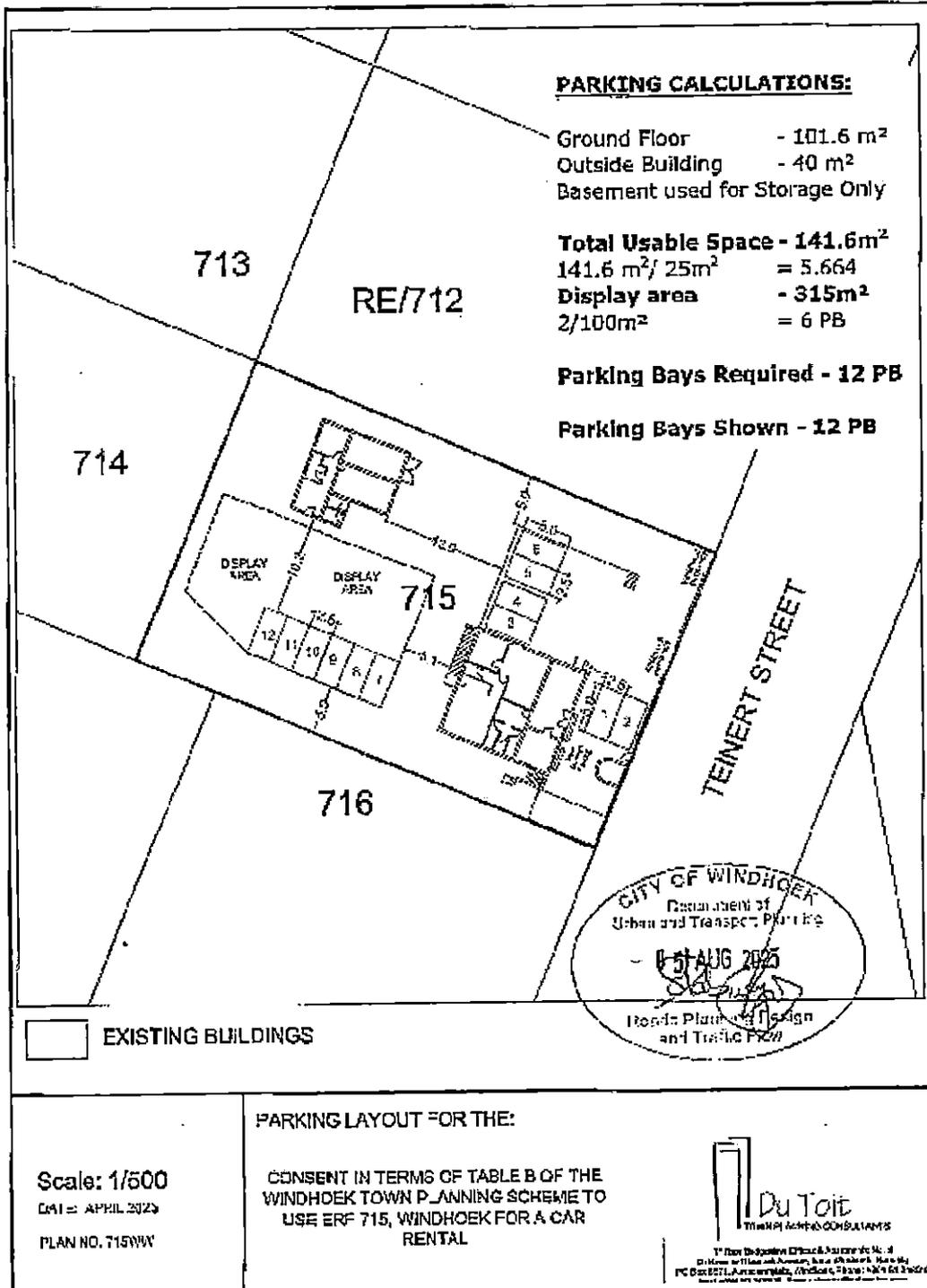


ROADS PLANNING & TRAFFIC FLOW COMMENTS: REVISED COMMENTS

The application dated 09 April 2025 received from Du Toit Town Planning Consultants regarding the above has reference.

Erf 715 Windhoek, is located on Teinert Street, zoned "office" with a bulk of 0.4 and measures approximately 1659m² in extent. Access is gained from Teinert Street; which is a short road which has low to medium traffic volumes during peak hours.

1. **This Division has no objection to the Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek; provided that:**
 - 1.1. Parking is provided as per the parking layout attached.
 - 1.2. Parking requirement: 2 bays per 100 m² display area. Display area is to be indicated on the plan
 - 1.3. Consent use will only come into effect after meeting parking requirements to the satisfaction of the SE: Urban and Transport Planning.



Yours faithfully

S. Sikabongo
 Roads Planning, Design and Traffic Flow
 *2364

MEMORANDUM¹⁵⁰



The Gateway to Endless Opportunities

TO : URBAN POLICY
FROM : HEALTH AND ENVIRONMENT SERVICES
ENQ : MET SHANYENGANGE Tel. 061 290 3529
CC :
DATE : 30/06/2025

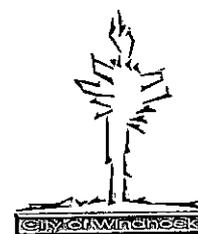
Dear Colleague,

RE: APPLICATION FOR CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK

The Division has no objection to the application.

Kind Regards,

MEMORANDUM



The Gateway to Endless Opportunities

TO : Mr. H. Rust
 Department of Urban and Transport Planning

FROM : Mr. Victor Namgongo
 Chief Engineer: Engineering Services
 Department of Electricity

ENQ : Michel Haraseb

REF : L/715/W

DATE : October 20, 2025

RE: AP APPLICATION FOR CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK.

The Strategic Executive: Electricity Department has no objection to the application submitted with the following conditions:

- Should any municipal electrical infrastructure need to be relocated, dismantled or replaced as per the request received from the applicant, all cost related thereto will be for the applicant's account.
- Only one (1) service connection from the municipal electrical network will be allowed per Erf.
- Service connections may not be routed through any subdivided portion or remainder.
- For Erven that is zoned "General Residential", "Business", "Office", "Institutional" or "Industrial" and an application for a new service connection or upgrade larger than 3 x 60 Amp is applied for, the applicant and/or his/her electrical engineering representative must contact the Strategic Executive: Electricity well in advance, during the planning stage, before any building plans have been approved to determine whether the existing electrical network can handle the additional loading or whether a substation building or site is to be provided by the applicant at his/her own cost to incorporate an additional substation; and also to determine the financial contribution to be made by the applicant towards the upgrade cost of the network.
- Kindly note that a Connection Charge may be payable at the cost of the applicant and the applicant is advised to review the Electricity Department Connection Charge Policy, Schedule of Approved Non-Regulated Tariffs

and/or to consult directly with the Electricity Department for information on Connection Charges”

Mr. V. H. Namgongo

**CHIEF ENGINEER: ENGINEERING SERVICES
DEPARTMENT OF ELECTRICITY**

Strategic Executive
Department of Urban and Transport Planning
Windhoek City Council
P O Box 59
WINDHOEK

1 September 2025

For Attention: Ms. Kristofina Asino

Dear Ms. Asino

PUBLIC PARTICIPATION REPORT: CONSENT FOR A 'BUSINESS BUILDING UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET WINDHOEK

Our application submitted 10 April 2025 for the:

- Consent in terms of Table B of the Windhoek Zoning Scheme to use Erf 715, Windhoek for a 'business building' for the operation of a car rental under the 'office' zoning, refers.

Herewith the summary of the public participation process together with the new proof of notification form we received 4 August 2025:

(Please note that since the public participation was completed before 4 August, none of the neighbours were contacted in person).

Electronic copy		Date published		Closing date
Application in .doc format				14 April 2025
All annexures (pdf)				14 April 2025
All relevant plans and drawings (pdf)				14 April 2025
Advertisements & Notices		Date published		Closing date
Proof of Advertisements	GG	n/a		14 May 2025
	New Era	17/04/25	24/04/2025	
	Namibian	17/04/25	24/04/2025	
Proof of Neighbour Notices (list of registered letters)	Sent per email			14 May 2025
Proof of Notice on Site	Done – photo attached			
Proof of Notice on LA Board	Done – photo attached			
Copies of all objections received	Objections lodged – see discussion below			

MOTIVATION FOR THE USE OF EMAIL FOR NEIGHBOUR NOTIFICATION

As mentioned above, the preferred method for neighbour consultation was per email as the new requirements from City of Windhoek was not yet applied. Our office is of the opinion that the email method is one of the options provided for by the Urban and Regional Planning Act, 2018 and is the most practical option. Further motivation for the use of email is given below:

1. Legislative Compliance: The Urban and Regional Planning Act recognises email and registered post as acceptable methods for neighbour notifications. Accordingly, we utilised the official email addresses and postal addresses as provided by the City of Windhoek (see attached), ensuring compliance with legislative provisions.

2. Practical Constraints and Operational Efficiency: Many property owners are unavailable during regular working hours, making hand delivery impractical unless conducted after hours. In addition, several of the affected properties are occupied by tenants rather than owners, meaning that hand-delivered notices may not reach the intended recipients. Additionally, some property owners may reside outside of Windhoek or even outside the country. Email is often the only reliable and timely way to reach such individuals, ensuring that they are still included in the consultation process. Where email addresses were not available from the City, notices were sent via registered post as the next most effective option.

Furthermore, email and registered post communication provide a verifiable digital record of dispatch, ensuring transparency and accountability. This mitigates the risk of notices being lost or misfiled, as is sometimes the case with physical documents.

For the above reasons, we believe that notifying neighbours via email was the most practical, compliant, and responsible method under the circumstances.

3. Neighbours contacted and responses:



Figure 1: Neighbours contacted

PORTION NO	NAME & POSTAL ADDRESS	EMAIL SENT	RESPONSE RETURNED	COMMENT
ERF 716, C/O TEINERT & DR W. KULZ STREET	IHAMBO SNT 0812970901 P O BOX 3136 PIONEERSPAF Tenant: Owner contact: Patty Gerstle Patty.gerstle@gmail.com	Yes	Yes ✓	Objection
ERF RE/712, ✓ TEINERT STREET	IWALA TRADING NUMBER THRE 0811277151 PO BOX 4843 WINDHOEK NAMIBIA IWALA@IWAY.NA	Yes	Yes	No objection <i>Handwritten signature</i>
ERF 7232, TEINERT STREET <i>8834</i>	MANDUME PARKN INVESTMENTS 0811276303 P O BOX 1175 WINDHOEK NAMIBIA Graham Williamson: gwnamibia@gmail.com	Yes	Yes ✓	Objection
ERF RE/7231, TEINERT STREET	CITY OF WINDHOEK P.O. BOX 59 WINDHOEK NAMIBIA	N/A	N/A	N/A
ERF RE/L, ✓ C/O DR W. KULZ & BISMARCK STREET	N/A ELCIN Church windhoek@elcin- gelc.org	Yes	Yes	Read receipt ✓
ERF 714, ✓ BISMARCK STREET	ELECTRICITY CONTROL BOARD 061374300 PO BOX 2923 WINDHOEK <u>ACCOUNTS.PAYABLE@ECB.ORG.NA</u> ckatjimune@ecb.org.na	Yes	Yes	Read receipt ✓
ERF 713, ✓ BISMARCK STREET	SHANNY`S PROPERTIES CC 0818766822 PO BOX 20858 WINDHOEK NAMIBIA windhoek@animalhospital.com.na	Yes	Yes	Yes <i>Handwritten signature</i>

Both the objections received from the Body Corporate of Mandume Park Building (Erf 8834) and Mrs Gerstle of Erf 716 revolved around parking.

The objections were discussed with our clients, whereafter they went through great lengths to address the objections of both parties in person. Namibia Car Rental has acknowledged in the attached documents that there are challenges in terms of street parking on Teinert Street. And although they have transgressed at some point – as per the photos from Mandume Park Body Corporate, the objectors are equally guilty of congestion in the street.

In their response to the objectors dated 15 March 2025 (Mrs Gerstle) and 9 June 2025 (Mandume Park BC), Namibia Car Rental implemented the following solutions in the meantime:

- Renting parking space at a facility in Prosperita to ensure the excess vehicles are accommodated off-site, which contributes to a clearer and less crowded street frontage
- Expansion of a parking deck: Due to the natural topography of the erf, the slope allows for parking deck(s). Once consent for the car rental is obtained, they intend to submit plans for the expansion of the deck to provide sufficient parking.

The Department Transportation conducted a site visit on 23 July 2025 and was satisfied with the parking layout provided as well as the solutions provided by our clients.

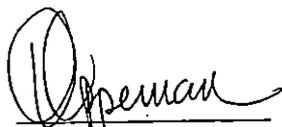
Despite the measures the owners of Erf 715 went through to accommodate the objectors, they did not withdraw the objections. In light of this, Council is thus requested to not support the objections for the car rental operations on Erf 715, Windhoek.

Attached to this letter (in this order):

- Proof of Giving Notice of Application form (new)
- Addresses received from CoW
- Proof of mail sent via email; Read receipts and returned forms
- Example of letter sent
- Newspaper Notices
- Site notice
- Customer Care Centre notice
- Communications regarding objections

Please do not hesitate to contact me should you require any further information.

Kind Regards


D Opperman

1.2 FAILED HAND DELIVERY ATTEMPTS RECORD

Pursuant to Sections 107, 121(a) and 121(1)(b)(i) of the Act read with Sub regulation 10(4) and (12)(c) of the Regulations relating to the Act, where hand delivery has been attempted but was unsuccessful, the applicant must maintain a record of **at least two hand delivery attempts, of which one shall be outside office hours.**

NEIGHBOUR ERF/ PORTION/ FARM NO.	TOWNSHIP NAME / FARM NO	HAND DELIVERY				REASON(S) FOR FAILED HAND DELIVERY	EVIDENCE OF ATTEMPTS ATTACHED
		ATTEMPT 1		ATTEMPT 2			
		DATE	TIME	DATE	TIME		
							<input type="checkbox"/> Date stamped photos of visit <input type="checkbox"/> Date stamped photo of call back notice left <input type="checkbox"/> Others
							<input type="checkbox"/> Date stamped photos of visit <input type="checkbox"/> Date stamped photo of call back notice left <input type="checkbox"/> Others
							<input type="checkbox"/> Date stamped photos of visit <input type="checkbox"/> Date stamped photo of call back notice left <input type="checkbox"/> Others
							<input type="checkbox"/> Date stamped photos of visit <input type="checkbox"/> Date stamped photo of call back notice left <input type="checkbox"/> Others
							<input type="checkbox"/> Date stamped photos of visit <input type="checkbox"/> Date stamped photo of call back notice left <input type="checkbox"/> Others
							<input type="checkbox"/> Date stamped photos of visit <input type="checkbox"/> Date stamped photo of call back notice left <input type="checkbox"/> Others
							<input type="checkbox"/> Date stamped photos of visit <input type="checkbox"/> Date stamped photo of call back notice left <input type="checkbox"/> Others



1.3 ALTERNATIVE METHODS

In cases where hand delivery has been attempted and failed, the applicant may proceed with alternative methods of serving notice(s) in accordance with Sections 107, 121(1)(b)(ii), 121(1)(c)(ii), 121(1)(d), 121(2)(b) and 121(2)(c) of the Act (read with Sub regulation 10(4) of the Regulations relating to the Act). These methods shall only be considered after hand delivery has been reasonably attempted and documented.

NEIGHBOUR ERF /PORTION / FARM NO.	TOWNSHIP NAME / FARM NO	ALTERNATIVE DELIVERY METHOD Please select the alternative method used.			EVIDENCE ATTACHED (YES/NO)
ERF 716 [✓]	W	<input type="checkbox"/> Registered Mail	<input checked="" type="checkbox"/> E-mail	<input type="checkbox"/> Fax	YES
ERF 701/712 [✓]	W	<input type="checkbox"/> Registered Mail	<input checked="" type="checkbox"/> E-mail	<input type="checkbox"/> Fax	YES
8834 ERF 7082 [✓]	W	<input type="checkbox"/> Registered Mail	<input checked="" type="checkbox"/> E-mail	<input type="checkbox"/> Fax	YES
ERF 701 [✓]	W	<input type="checkbox"/> Registered Mail	<input checked="" type="checkbox"/> E-mail	<input type="checkbox"/> Fax	YES
ERF 714 [✓]	W	<input type="checkbox"/> Registered Mail	<input checked="" type="checkbox"/> E-mail	<input type="checkbox"/> Fax	YES
ERF 713 [✓]	W	<input type="checkbox"/> Registered Mail	<input checked="" type="checkbox"/> E-mail	<input type="checkbox"/> Fax	YES
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	
		<input type="checkbox"/> Registered Mail	<input type="checkbox"/> E-mail	<input type="checkbox"/> Fax	



PART 2: NOTIFICATION TO THE GENERAL PUBLIC

As per Regulations 10(1)-(3), 11, and 12 of the Regulations relating to the Act.

2.1 GOVERNMENT GAZETTE NOTICE

Section 107 of the Act read with Sub regulation 10(1)(a) of the Regulations relating to the Act.

GOVERNMENT GAZETTE DATE	GOVERNMENT GAZETTE NUMBER	NOTICE NUMBER	DEADLINE FOR COMMENTS/ OBJECTIONS	EVIDENCE OF NOTICE ATTACHED (YES/NO)
			N/A	

2.2 NEWSPAPERS NOTICES

Section 107 of the Act read with Sub regulations 10(2)-(3) of the Regulations relating to the Act.

NEWSPAPER NAME	1 ST PUBLICATION DATE	2 ND PUBLICATION DATE	DEADLINE FOR COMMENTS/ OBJECTIONS	EVIDENCE OF NOTICES ATTACHED (YES/NO)
NEW ERA	17/04/25	24/04/2025	14 MAY 2025	YES
NAMIBIAN	17/04/25	24/04/2025	14 MAY 2025	YES

2.3 ONSITE NOTICE (NOTICE ON THE LAND)

Section 107 of the Act read with Sub regulation 12(a) of the Regulations relating to the Act.

NOTICE DISPLAY PERIOD (FROM - TO)	DEADLINE FOR COMMENTS / OBJECTIONS	EVIDENCE OF NOTICE ATTACHED (YES/NO)
17/04/2025 - 14/05/2025	14 MAY 2025	YES

2.4 LOCAL AUTHORITY NOTICE BOARD NOTICE

Section 107 of the Act read with Sub regulation 12(b) of the Regulations relating to the Act.

NOTICE DISPLAY PERIOD (FROM - TO)	DEADLINE FOR COMMENTS / OBJECTIONS	EVIDENCE OF NOTICE ATTACHED (YES/NO)
17/04/2025 - 14/05/2025	14 May 2025	YES

PART 3: COMMENTS AND/OBJECTIONS LODGED

COMMENTS/ OBJECTOR ERF, PORTION OR FARM NO.	COMMENTS/ OBJECTOR TOWNSHIP NAME / FARM NO	NAME(S) OF COMMENTS/ OBJECTOR	OBJECTIONS OR COMMENTS RECEIVED	EVIDENCE OF COMMENTS/ OBJECTIONS ATTACHED (YES/NO)
ERF 716	W	Mrs. Gerstle	<input type="checkbox"/> Comments <input checked="" type="checkbox"/> Objections	YES
			<input type="checkbox"/> Comments <input type="checkbox"/> Objections	
ERF 8834	W	mandume Park B/C	<input type="checkbox"/> Comments <input checked="" type="checkbox"/> Objections	YES
			<input type="checkbox"/> Comments <input type="checkbox"/> Objections	
			<input type="checkbox"/> Comments <input type="checkbox"/> Objections	
			<input type="checkbox"/> Comments <input type="checkbox"/> Objections	



PART 4: DECLARATION

I, the undersigned, declare that:

- I have personally undertaken the required neighbour consultation process as per Section 121 of the Urban and Regional Planning Act, 2018.
- All reasonable efforts were made to deliver notices by hand as per Section 121(a), and where that was not possible, alternative methods were used in accordance with Section 121(b)-(d).
- I have complied with all public notification requirements under Regulations 10, 11, and 12, including publication in the Gazette and two newspapers, as well as placement of notices on the site and at the local authority's notice board.

D. Opperman
NAME

01/09/2025
DATE

D. Opperman
SIGNATURE

COMPANY NAME (IF APPLICABLE)

PART 4: FOR OFFICE USE ONLY

CONSULTATIONS ACCEPTED:
YES NO

OFFICIAL NAME

IF NO, STATE THE REASONS BELOW:

DATE STAMP & SIGNATURE:



1st floor Bridgeview Offices & Apartments, No. 4 Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
 PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010, Fax: +264 61 248608, Mobile: +264 81 281 0836, Email: elmarie@dutoitplan.com

Enquiries: T Tjitemisa
 Tel: +264 81 416 6169
 Ref: Erf 715W_addresses

14 APRIL 2025

ERF OWNERS AND ADDRESSES: ERF 715, NO. 4 TEINERT STREET, WINDHOEK

Good day Redemptus,

Could you kindly provide me with the names and addresses (and phone numbers/email addresses where available) of the owners of the following properties, please:

PORTION NO	NAME & POSTAL ADDRESS	TEL/EMAIL
ERF 716, C/O TEINERT & DR W. KULZ STREET	IHAMBO SNT 0812970901 P O BOX 31361 PIONEERSPARK <i>not owner- only tenant</i>	Owner: Patty Gerstle patty.gerstle@gmail.com
ERF RE/712, TEINERT STREET	IWALA TRADING NUMBER THRE 0811277151 PO BOX 4843 WINDHOEK NAMIBIA IWALA@IWAY.NA	
ERF 7232, TEINERT STREET	MANDUME PARKN INVESTMENTS 0811276303 P O BOX 11755 WINDHOEK NAMIBIA	Graham Williamson gwnamibia@gmail.com
ERF RE/7231, TEINERT STREET	CITY OF WINDHOEK P.O. BOX 59 WINDHOEK NAMIBIA	
ERF RE/L, C/O DR W. KULZ & BISMARCK STREET	N/A P O BOX 233, Windhoek Windhoek@elcin-gelc.org	
ERF 714, BISMARCK STREET	ELECTRICITY CONTROL BOARD 061374300 PO BOX 2923 WINDHOEK	

	<u>ACCOUNTS.PAYABLE@ECB.ORG.NA</u> <u>ckatjimune@ecb.org.na</u>	
ERF 713, BISMARCK STREET	SHANNY'S PROPERTIES CC 0818766822 PO BOX 20858 WINDHOEK NAMIBIA FINANCE@ANIMALHOSPITAL.COM.NA	
? ERF 8041, TRIFT STREET	0818766822 PO BOX 20858 WINDHOEK NAMIBIA FINANCE@ANIMALHOSPITAL.COM.NA	N/A - Trift Tower

Best regards,
 Tjjama Tjitemisa

~~whf~~ Windhoek@animalhospital.com.na

Planner2

From: Planner2 <planner2@dutoitplan.com>
Sent: 23 April 2025 10:26
To: 'patty.gerstle@gmail.com'
Cc: Dorette Opperman
Subject: Neighbour Consultation for Owner of Erf 716, C/O Teinert and Dr W Kulz Street, Windhoek
Attachments: Letter to owner of Erf 716.pdf; Annexures.pdf

Dear Ms Gerstle,

Our office is in the process of applying to the City of Windhoek Council for the:

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

In terms of the Urban and Regional Planning Act, 2018 (Act 5 of 2018) you as a neighbouring property owner needs to be informed. The primary intention of the consent is discussed in the attached document. Please fill in the form within the document (page 3) and send back to us on or before the **14th of May 2025**.

Do not hesitate to contact me should you require additional information.

Best Regards,

(MS) TJIJAMA TJITEMISA
Town Planning Consultant
+264(0) 81-416 6169
planner2@dutoitplan.com



1st floor Bridgeview Offices & Apartments No. 4
Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
Fax: +264 61 248608, Email: planner2@dutoitplan.com

Planner2

From: Planner2 <planner2@dutoitplan.com>
Sent: 23 April 2025 10:25
To: 'iwala@iway.na'
Cc: Dorette Opperman
Subject: Neighbour Consultation for the Owner of Erf RE/712, Teinert Street, Windhoek
Attachments: Letter to owner of Erf Re 712W.pdf; Annexures.pdf

Tracking:	Recipient	Read
	'iwala@iway.na'	
	Dorette Opperman	
	Rosalinde Nakale	Read: 23/04/2025 14:00

Dear Sir/Madam,

Your office is in the process of applying to the City of Windhoek Council for the:

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

In terms of the Urban and Regional Planning Act, 2018 (Act 5 of 2018) you as a neighbouring property owner needs to be informed. The primary intention of the consent is discussed in the attached document. Please fill in the form within the document (page 3) and send back to us on or before the **14th of May 2025**.

Do not hesitate to contact me should you require additional information.

Best Regards,

(MS) TIJJAMA TJITEMISA
 Town Planning Consultant
 +264(0) 81-416 6169
 planner2@dutoitplan.com



1st floor Bridgeview Offices & Apartments No. 4
 Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
 PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
 Fax: +264 61 248608, Email: planner2@dutoitplan.com

CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK

Name: ROSALINDE NAIKALE

Address: P.O. BOX 484
WINDHOEK

Telephone: 061 276173 Email: iwala@inways.na

I, the owner of Erf. R. 712 6, Teinert Street, Windhoek:

(Please indicated with "x" in appropriate box)

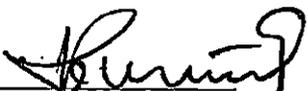
Do not object

Do Object

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

if objecting, please state the reasons:

N/A


Signature

24-04/2025
Date

Kindly take note that comments should reach our office by 14 May 2025:
You can return the form to the following email address: planner2@dutoitplan.com

Planner2

From: Planner2 <planner2@dutoitplan.com>
Sent: 23 April 2025 10:26
To: 'gwnamibia@gmail.com'
Cc: Dorette Opperman
Subject: Neighbour Consultation for the Owner of Erf 7232, Teinert Street, Windhoek
Attachments: Letter to owner of Erf 7232W.pdf; Annexures.pdf

Dear Mr Graham,

Our office is in the process of applying to the City of Windhoek Council for the:

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

In terms of the Urban and Regional Planning Act, 2018 (Act 5 of 2018) you as a neighbouring property owner needs to be informed. The primary intention of the consent is discussed in the attached document. Please fill in the form within the document (page 3) and send back to us on or before the **14th of May 2025**.

Do not hesitate to contact me should you require additional information.

Best Regards,

(MS) TJIJAMA TJITEMISA
Town Planning Consultant
+264(0) 81-416 6169
planner2@dutoitplan.com



1st floor Bridgeview Offices & Apartments No. 4
Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
Fax: +264 61 248008, Email: planner2@dutoitplan.com

Planner2

From: Planner2 <planner2@dutoitplan.com>
Sent: 23 April 2025 10:26
To: 'windhoek@elcin-gelc.org'
Cc: Dorette Opperman
Subject: Neighbour Consultation for the owner of Erf RE/L, C/O DR Kulz and Bismarck Street, Windhoek
Attachments: Letter to owner of Erf ReL W.pdf; Annexures.pdf

Tracking:

Recipient	Read
'windhoek@elcin-gelc.org'	
Dorette Opperman	
Deutsche Evangelisch-Lutherische Gemeinde Windhoek	Read: 24/04/2025 12:45

Dear Sir/Madam,

Our office is in the process of applying to the City of Windhoek Council for the:

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

In terms of the Urban and Regional Planning Act, 2018 (Act 5 of 2018) you as a neighbouring property owner needs to be informed. The primary intention of the consent is discussed in the attached document. Please fill in the form within the document (page 3) and send back to us on or before the **14th of May 2025**.

Do not hesitate to contact me should you require additional information.

Best Regards,

(MS) TJIJAMA TJITEMISA
 Town Planning Consultant
 +264(0) 81-416 6169
 planner2@dutoitplan.com



1st floor Bridgeview Offices & Apartments No. 4
 Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
 PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
 Fax: +264 61 248008, Email: planner2@dutoitplan.com

Planner2

From: Planner2 <planner2@dutoitplan.com>
Sent: 23 April 2025 10:27
To: 'accounts.payable@ecb.org.na'; 'ckatjimune@ecb.org.na'
Cc: Dorette Opperman
Subject: Neighbour Consultation for the Owner of Erf 714, Bismarck Street, Windhoek
Attachments: Letter to owner of Erf 714.pdf; Annexures.pdf

Dear Sir/Madam,

Our office is in the process of applying to the City of Windhoek Council for the:

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

In terms of the Urban and Regional Planning Act, 2018 (Act 5 of 2018) you as a neighbouring property owner needs to be informed. The primary intention of the consent is discussed in the attached document. Please fill in the form within the document (page 3) and send back to us on or before the **14th of May 2025**.

Do not hesitate to contact me should you require additional information.

Best Regards,

(MS) TIJAMA TJITEMISA
 Town Planning Consultant
 +264(0) 81-416 6169
 planner2@dutoitplan.com



1st floor Bridgeview Offices & Apartments No. 4
 Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
 PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
 Fax: +264 61 248608, Email: planner2@dutoitplan.com

Planner2

From: Imilia Ditu <imwengo@ecb.org.na>
To: Planner2
Sent: 23 April 2025 16:43
Subject: Read: Neighbour Consultation for the Owner of Erf 714, Bismarck Street, Windhoek

Your message

To: Imilia Ditu
Subject: Neighbour Consultation for the Owner of Erf 714, Bismarck Street, Windhoek
Sent: Wednesday, April 23, 2025 10:26:32 AM (UTC+02:00) Windhoek

was read on Wednesday, April 23, 2025 4:49:13 PM (UTC+02:00) Windhoek.

CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK

Name: Detlef marggraff (Shanny's Properties)

Address: 10 Simeon Shixungilani Street (old Bismarck street)

Windhoek

Telephone 083 330 6520 Email: windhoek@animalhospital.com.na

I, the owner of Erf 713, Bismarck Street, Windhoek and

Erf....., Trift Street, Windhoek

(Please indicated with "x" in appropriate box)

Do not object

Do Object

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

If objecting, please state the reasons:

.....

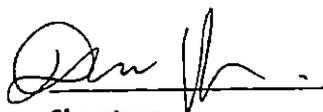
.....

.....

.....

.....

.....



 Signature

01/09/2025

 Date

Kindly take note that comments should reach our office by 14 May 2025
 You can return the form to the following email address: planner2@dutoitplan.com

Dorette Opperman

From: Dorette Opperman <planner1@dutoitplan.com>
Sent: Monday, September 1, 2025 1:01 PM
To: 'windhoek@animalhospital.com.na'
Cc: 'Planner2'
Subject: FW: Neighbour Consultation for the Owner of Erven 713, Bismarck Street Windhoek
Attachments: Letter to owner of Erf 713 & 8041W.pdf; Annexures.pdf

Dear Sir/Madam,

The email below from my colleague refers. Apologies for not following up earlier on the response, it appears that the email was not delivered. As per the email below, we forwarded the attached letter and annexures informing you about our application on Erf 715 (adjacent to the back of your erf) for consent for the car rental on the office zoned property.

The City of Windhoek requires that the property owners provide proof that the email were received. Alternatively, please complete the form on page 4 of the letter.

You are welcome to respond as soon as possible or alternatively by latest 19 September 2025 (14 working days from today).

Kind Regards
 Dorette



1st floor Bridgeview Offices & Apartments No. 4
 Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
 PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
 Fax: +264 61 248608, Email: planner1@dutoitplan.com

Dorette Opperman
 Mobile: +264 81 835 2021

<https://w3w.co/material.wicket.inhaler>

From: Planner2 <planner2@dutoitplan.com>
Sent: Wednesday, April 23, 2025 10:26 AM
To: finance@animalhospital.com.na
Cc: Dorette Opperman <planner1@dutoitplan.com>
Subject: Neighbour Consultation for the Owner of Erven 713, Bismarck Street and 8401, Trift Street, Windhoek

Dear Sir/Madam,

Our office is in the process of applying to the City of Windhoek Council for the:

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

In terms of the Urban and Regional Planning Act, 2018 (173 of 2018) you as a neighbouring property owner needs to be informed. The primary intention of the consent is discussed in the attached document. Please fill in the form within the document (page 3) and send back to us on or before the **14th of May 2025**.

Do not hesitate to contact me should you require additional information.

Best Regards,

(MS) TJIJAMA TJITEMISA
Town Planning Consultant
+264(0) 81-416 6169
planner2@dutoitplan.com



1st floor Bridgeview Offices & Apartments No. 4
Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
Fax: +264 61 248608, Email: planner2@dutoitplan.com



1st floor Bridgeview Offices & Apartments, No. 4 Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
PO Box 6871, Ausspamplatz, Windhoek, Phone: +264 61 248010, Fax: +264 61 248608, Mobile: +264 81 281 0836, Email: elmarie@dutoitplan.com

Enquiries: D. Opperman

Tel: +264 81 835 2021

Ref: 715W Letters

ERF 714, BISMARCK STREET
ELECTRICAL CONTROL BOARD
P O BOX 2923
WINDHOEK

Sent via email: accounts.payable@ecb.org.na & ckatjimune@ecb.org.na

23 APRIL 2025

Dear Sir/ Madam

CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK

Take notice that **DU TOIT TOWN PLANNING CONSULTANTS**, are applying on behalf of the owners Erf 715, Teinert Street, Windhoek (Drongos Investment Close Corporation) in terms of the stipulations of the Urban and Regional Planning Act, 2018 (Act No. 5 of 2018), to the Windhoek City Council for:

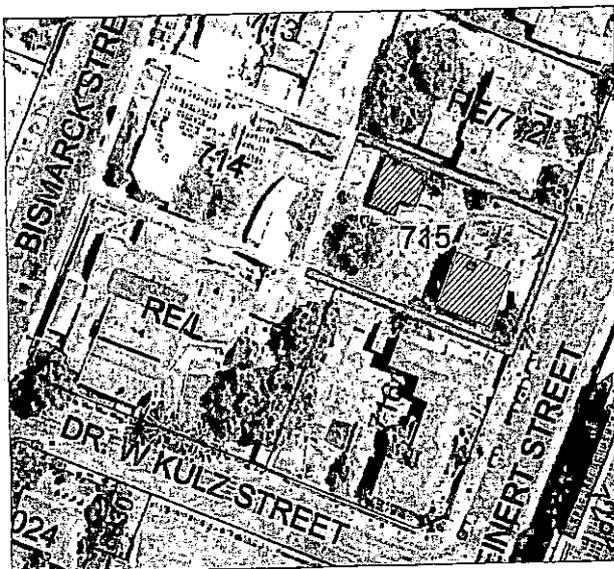
- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

In terms of the new Urban and Regional Planning Act, 2018 (Act 5 of 2018) and the Windhoek Town Planning Scheme, you as the owner of a neighbouring property are hereby granted the opportunity to comment on the proposal. We kindly request that you provide us with your comments no later than **14 May 2025**.

ERF INFORMATION

The project erf is located in Teinert Street, which places it in the central area of the city, just south of the central business district. It is parallel to Mandume Ndemufayo Drive, but no access is taken from there. The erf is also closely located to the GAME centre on Erf 6880, Windhoek. The erf is 1659m² in extent. The project Erf is currently zoned as 'office' with a bulk of 0.4 and currently accommodates the existing Namibia Car Rental Offices.

Please see the locality of the Erf (red) adjacent and the proximity to your Erf (yellow).



PROPOSAL

The owner was recently informed by the City of Windhoek that although in operation for many years, the operation of the Namibia Car Rental on Erf 715, Windhoek is not in compliance with the office zoning of the Erf. The erf is currently zoned for 'office' with a bulk of 0.4. The Windhoek Zoning Scheme does not permit the operation of a car rental as a primary use on office zoned erven, however, consent to operate a car rental on the office zoned Erf can be obtained from the City of Windhoek under the definition of a 'business building'.

See the extract from the Windhoek Zoning Scheme below.

XII Office	Offices	Dwelling units, Residential buildings, Institutions, Places of public worship, Business buildings, hotels, Restaurant	Other uses not under columns 2 and 3
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Business building means a building designed and/or used as offices, warehouses, medical or dental consulting rooms, laboratories or other business purposes but does not include other buildings specifically defined or mentioned elsewhere in this Scheme with the exception of offices.

It is to this end that this application is now made.

MOTIVATION (Need and Desirability)

Namibia Car Rental have been operational in Namibia for at least 13 years. The company acquired Erf 715, Windhoek, due to its central locality and accessibility to major arterial and connector roads. As a well-established business in Windhoek, the car rental service contributes significantly to the mobility of both locals and visitors, supporting tourism, and business travel. The continuity of the Namibia Car Rental operation is integral to the provision of these services, which are crucial to the city's economic development and the broader tourism infrastructure of the region.

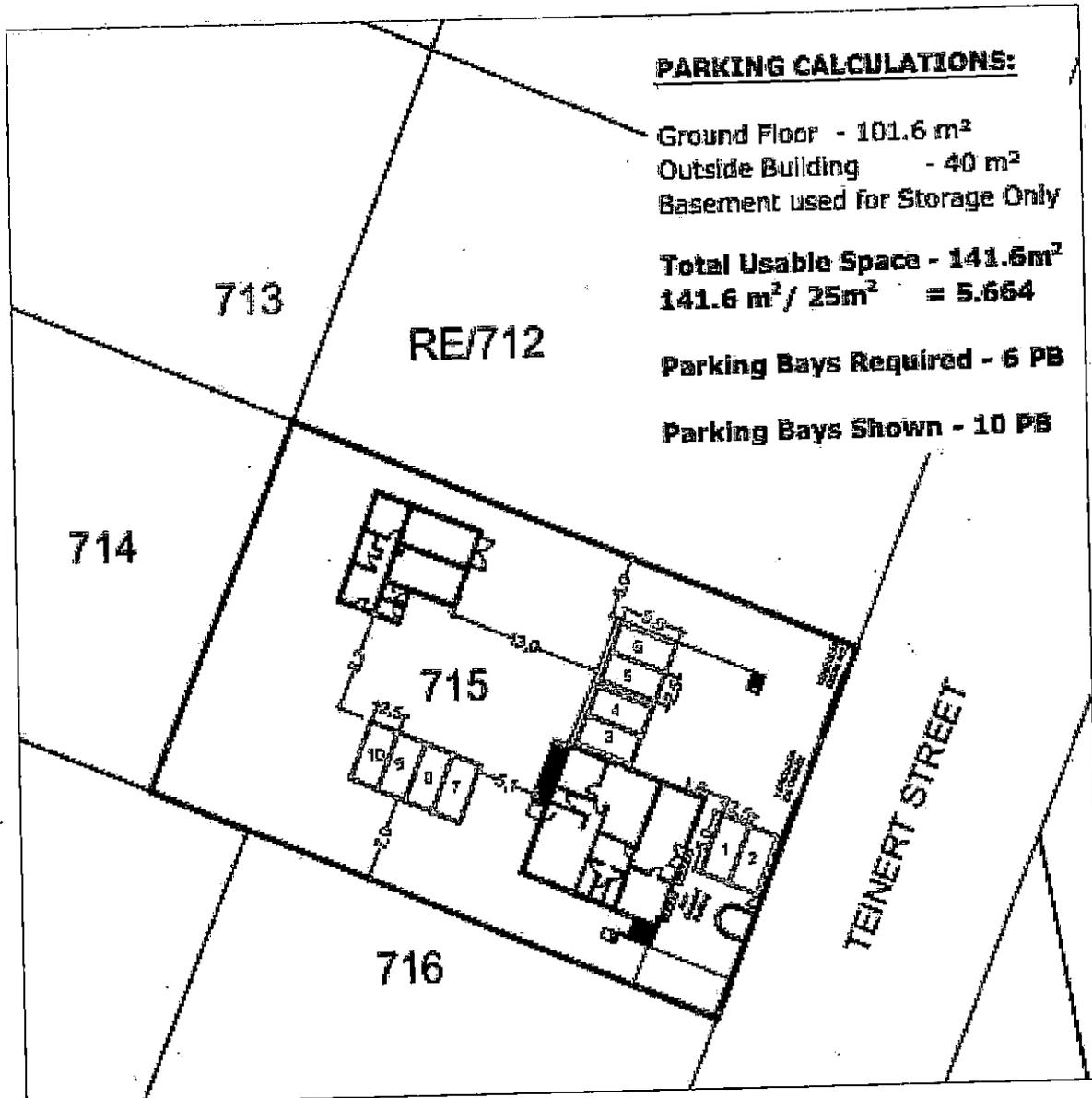
From a desirability perspective, granting consent for the Namibia Car Rental operation to continue on the office-zoned Erf 715 would align with the growing demand for transportation solutions in Windhoek. The business's location on Erf 715 is strategically situated to serve a large customer base, including corporate clients, and residents in need of vehicle rental services. Furthermore, the car rental service supports local employment and contributes to the community by providing jobs and services that are in demand. The request for consent reflects a practical approach to integrating this essential service within the city's existing framework, recognizing that the car rental business has operated in this location for many years without significant issues.

Thus, granting consent would not only allow the Namibia Car Rental to continue providing a valuable service to Windhoek but also ensure that the business remains compliant with the City's regulations while contributing to the economic and social fabric of the area.

The majority of erven surrounding Erf 715, are of an office/business nature in the neighbourhood. This is mainly due to the accessibility to the City Centre. Almost all the residential uses have been converted to more commercial uses.

ACCESS AND PARKING

Access to Erf 715 is from Teinert Street. The erf has sufficient parking for a number of vehicles. As per the calculations, the office floor area is $\pm 141,6\text{m}^2$ which would require 6 parking bays. A total of 10 is shown but it is clear there is space available for more vehicles. See below the parking plan. Please find the parking plan attached.



Parking layout for existing building

In light of the above, your comments on the intended application will be highly appreciated. Kindly note that should we not receive any comments by the closing date of 14 May 2025, we would assume you do not have any objection.

Kind regards

Tjijama Tjitemisa

CLASSIFIEDS

(061) 208 0800/44
 (061) 220 584
 classifieds@nepc.com.na

- Services: General, Legal Notices, Notice, Notice 2, Employment Offered

CLASSIFIEDS

Notes and Deadlines

- To avoid disappointment of an advertisement not appearing on the date you wish, please book timeously - Classifieds emails and notices 12:00, two working days prior to placing - Cancellations and alterations: 16:00, two days before date of publication in writing only
- Notices (VAT Inclusive)
 - Legal Notices N\$460.00
 - Lost Land Title N\$575.00
 - Liquor License N\$460.00
 - Name Change N\$460.00
 - Birthdays from N\$200.00
 - Death Notices from N\$200.00
 - Tombstone Unwilling from N\$200.00
 - Thank You Messages from N\$200.00

Terms and Conditions Apply.

ZACHEUS THOMAS TRINITY AME CHURCH

PO, Box 525
 Keetmanshoop
 Namibia
 Email: zttamechurch@gmail.com

Tel: 063 223026
 Fax: 063 223026
 Cell: 08169 67317

EXPRESSION OF INTEREST

The Zacheus Thomas Trinity AME Church, situated in Keetmanshoop, Tselabagte erf 571, Rev. Dr. N. C. Christians street, wish to construct an overnight facility comprises of six (6) single rooms and three (3) double rooms on the abovementioned premises. This facility will serve as an income generation model for the church.

This expression of interest deals with any person who has any objection against the proposed initiative. You may submit your objection in writing and deliver it at the church office at erf 571, Rev. Dr. N. C. Christians Eva within 14 days since the placing of this advert. Office Administrator - Mrs. T.A.A. Garthe 0812929297

Thank you

Rev. Leslie Luvikus
 Local Pastor

REPUBLIC OF NAMIBIA
 OMSUATI REGIONAL COUNCIL
 DIVISION OF GENDER
 EQUALITY AND CHILD WELFARE

Tel: +264 83 - 251141
 Fax: +264 83 - 251223
 E-mail: info@omsuati.gov.na
 Website: www.omsuati.gov.na
 Erpf: 1600 Namunango Street Private Bag 123 OUTAPI

09 April 2025

The Ministry of Gender Equality and Child Welfare is giving notice to a biological mother/father or relative of a baby girl abandoned and left with a street vendor behind the Shoprite building in Outapi town, Omsuati Region on 20 December 2024.

Kindly, take note that this notice is important for the purpose of completing placement of the child in alternative care. The Ministry is legally obliged to give this Notice in terms of Section 227(5)(a) of the Child Care and Protection Act, Act 3 of 2015. This Notice is valid from 17 April to 06 June 2025 and thus you are required to respond to this Notice within this period.

Please contact Ms. Magamama Aiyambo (Social Worker) 0813289045 or 065-251141 during official working hours.

Compiled by Magamama Aiyambo

MERLUS

AN EQUAL OPPORTUNITY EMPLOYER

We invite suitably qualified candidates to apply for the position of:

BAADER MECHANIC

Purpose:

The incumbent will be responsible for the effective and efficient running of a hake factory freezer trowler.

Key Performance Areas:

- Operate Baader 192, Baader 181, Baader S1 and Baader S2 machines.
- Maintain and repair baader equipment.
- Plan annual factory repairs and maintain programs with Shore Engineers.
- Maintain inventory of baader store.
- Compliance with health and safety procedures.

Minimum Requirements:

- Baader Mechanic Training Certificate.
- Valid Maritime Safety Ticket.
- Minimum of 5 years' experience.
- Sound knowledge of Baader 182 fillet machine, Baader 181 and Baader S2 skinning machine.
- Sound knowledge of hydraulics.
- Sound knowledge of conveyor systems.
- Ability to work under pressure.

All suitably qualified Namibian citizens are encouraged to apply. Interested candidates are kindly requested to submit a detailed CV and copies of all supporting documentation to: The Human Resources Department, Ben Amathila Avenue, Walvis Bay, Namibia.

CLOSING DATE:
 Friday 25th April 2025

Please note that only short-listed applicants will be contacted. Please only apply if the listed requirements are met.

MERLUS

AN EQUAL OPPORTUNITY EMPLOYER

We invite suitably qualified candidates to apply for the position of:

NAVAL ARCHITECT

Key Performance Areas:

- Preparation of specifications and provides input to technical reports and presentations.
- Provide concept and feasibility design studies.
- Provide engineering, calculation, technical solutions and professional guidance for weight and stability related issues.
- Responsible for research, development, regular adherence, and stability analysis.
- Supervise the performance of vessel checks and system integration.
- Responsible for reviewing and adjusting the weight monitoring program for each vessel.
- Establish a working database of all weight standards related to vessel performance criteria.
- Conduct information review meetings with designated Production personnel as information is developed and finalized.
- Manage engineering projects and new equipment design concepts by researching components or systems and evaluating applications.
- Works directly with senior technical personnel in the planning and execution of technical activities on complex projects related to system and technical product development.

Minimum Requirements:

- Degree in Naval Architecture or Marine Engineering.
- Minimum of 15 years' experience.
- High design and evaluation.
- Structural detailing knowledge.
- Good communication skills.
- Must have excellent time management skills.
- Ability to multi-task and prioritize work.

Interested candidates are kindly requested to submit a detailed CV and copies of all supporting documentation to: The Human Resources Department, Ben Amathila Avenue, Walvis Bay or forward via e-mail to hr@merlus.com.na as a single PDF.

CLOSING DATE:
 April 25th, 2025

Please note that only short-listed applicants will be contacted. Please only apply if the requirements are met.

CONSENT FOR A 'BUSINESS BUILDING' UNDER THE ZONING FOR THE OFFICE OF A CAR RENTAL ON ERF 715, NO. 4 TENENT STREET, WINDHOEK

DU TOIT TOWN PLANNING CONSULTANTS, are applying on behalf of the owners of the Orange Investment Close Corporation, to the City Council of Windhoek for the

Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Tenent Street, Windhoek

The project erf is located in the Tenent Street, which places it in the central area of the city, just south of the central business district. It is parallel to Mandume Ndemufayo Drive, but no access is taken from there. The erf is close to the Orange Investment Close Corporation, the project erf is 1655m² in extent. The project erf is currently zoned as 'office' with a bulk of 0.4 and currently accommodates the existing Namibia Car Rental Offices.

The owner was recently informed by the City of Windhoek that although the operation for many years, the operation of the Namibia Car Rental on Erf 715, Windhoek is not in compliance with the office zoning of the erf. The erf is currently zoned for 'office' with a bulk of 0.4. The Windhoek Zoning Scheme does not permit the operation of a car rental as a primary use on office zoned erf, however, consent to operate a car rental on the office zoned erf can be obtained from the City of Windhoek under the definition of a 'business building' in this and that application for consent is made.

Based on the office floor area of approximately 1415 m², six (6) parking bays are required. However, the site currently provides ten (10) parking bays, with ample space available to accommodate additional parking if needed.

The locality plan of the site lies for inspection on the town planning office Board in the Customer Care Centre, Municipal Offices, Rev. Mkhata Sett Street, Windhoek and at the offices of Du Toit Town Planning, 4 Dr. Kwame Nkrumah Avenue, KH in Windhoek.

Any person objecting to the proposed use of land set out above may lodge such objection together with the grounds thereof with the City Council (the Urban Planner/ Town Planner, Fifth Floor, Room 516) and the applicant within 14 days of the last publication of this notice (final date for objections is 14th of May 2025).

Should you require additional information you are welcome to contact our office.

Applicant:
 DU TOIT TOWN PLANNING CONSULTANTS
 PO Box 6871 AUSSPANNPLATZ WINDHOEK, Tel: 051-248010
 Email: planning@duitoit.com.na

IN THE HIGH COURT OF NAMIBIA HELD AT OSHAKATI

CASE NO. HC-NLD-CIV-ACT-CON-2018/00290

In the matter between:
 STEPHANUS SHEPO OIDEON PLAINTIFF
 and
 JACKSON TANGENI NINDA DEFENDANT

NOTICE OF SALE IN EXECUTION

In pursuance of a Judgment of the above Honorable Court dated 7th of OCTOBER 2019 and Writ of Execution dated 01st OCTOBER 2019 the following goods will be sold in accordance with the provisions of the Sale of Goods Act, 1994 on 22 MAY 2025 at Advanced Refrigeration, Main Road, Oshakati at 12h00.

1. 1 X TOYOTA HILUX with registration number N16999 NO TERMS OF SALE: VOETSTOOTS AND CASH TO THE HIGHEST BIDDER DATED AT OSHAKATI this 22nd day of APRIL 2025.

AINGURA ATTORNEYS
 Legal Practitioners for Plaintiff's AINGURA

Room 205, Palmes Complex
 Cor of Robert Mugabe & Main Road OSHAKATI

(Ref: S20072)
 TO: THE REGISTRAR
 HIGH COURT OF NAMIBIA OSHAKATI

AND TO: NEW ERA NEWS PAPER WINDHOEK
 BY Fax: 0686 551845
 AND TO: THE NAMIBIAN SUN NEWSPAPER OSHAKATI BY HAND

PUBLIC NOTICE TOWN PLANNING AND ENVIRONMENTAL IMPACT ASSESSMENT

Take note that Stubenrauch Planning Consultants has applied to the Rundu Town Council and intends on applying to the Urban and Regional Planning Board in terms of the Urban and Regional Planning Act, 2018; and to the Environmental Commissioner in terms of the Environmental Assessment Act (No. 7 of 2007) and the Environmental Impact Assessment Regulations (GN30 of 6 February 2012) for the following:

PROJECT DETAILS:

- Subdivision of the Remainder of the Farm Rundu/Townlands No. 1329 Into Portions A - F and the Remainders
- Reservation of Portion F as a "Street"; and
- Inclusion of Portions A - F in the next Zoning Scheme to be prepared for Rundu.

The proposed Portion A - F are bordered by the C45 (M11) road leading to Nkurenkuru and the Nkwangwe River. The proposed portions are also to the north of the B8 (T0804) road leading to Grootfontein and on the eastern side of Rundu Extension 31.

The purpose of the subject application is to reserve blocks of land for future urban expansion to assist in lessening the backlog of housing in Rundu.

The Proponent: Rundu Town Council

Environmental Assessment Practitioner (EAP): Stubenrauch Planning Consultants (SPC)

REGISTRATION OF EAPs AND SUBMISSION OF COMMENTS:

In line with Namibia's Environmental Management Act (No. 7 of 2007) and EIA Regulations (GN30 of 6 February 2012), all EAPs are hereby invited to comment on or question in writing via: Email: brmym@spc.com.na; Tel: 06125 1189 on or before 27 May 2025.

NOTICE OF SALE IN EXECUTION IN THE MAGISTRATE'S COURT FOR THE DISTRICT OF OKAHANDJIA

HELD AT OKAHANDJIA CASE NO: 43/2024

In the matter between:
 JOHANNES VAN DER BERG PLAINTIFF/EXECUTION CREDITOR
 and
 CARMEN RISSIE DEFENDANT/EXECUTION DEBTOR

In pursuance of a Judgment in the above Honorable Court granted on 12th day of DECEMBER 2024 and Writ of Execution dated 05th DAY OF FEBRUARY 2025 the following goods will be sold in execution on WEDNESDAY the 07th day of MAY 2025 at 17H00 at ERF 92, UNIT 5, MARTIN NEIB AVENUE, OKAHANDJIA.

GOODS:

- 1 X CHEST DRAWER
- 3 X PLASTIC CHAIRS
- 1 X RECLINER CHAIR
- 1 X CAST-IRON SHELF
- 1 X BOX CD'S
- 1 X SAMSUMG FLATSCREEN TELEVISION
- 1 X SONY FLATSCREEN TELEVISION
- 1 X SONY DVD PLAYER
- 1 X OFFICE CHAIR
- 1 X MISENSE WASHING MACHINE (TWIN TUB)
- 1 X BOX ASSORTED CUTLERY AND CROCKERY
- 1 X WOODEN BOX
- 1 X DOUBLE BED BASE AND MATTRESS
- 1 X DOUBLE BED MATTRESS
- 1 X 4 BED BASE AND MATTRESS
- 1 X PLASTIC BUCKET
- 1 X BOX SHAPED WOODEN SHELF
- 1 X KARCHER VACUUM MACHINE
- 1 X STEP LADDER

TERMS, VOETSTOOTS AND CASH TO THE HIGHEST BIDDER

Dated at OKAHANDJIA on this 10th day of APRIL 2025.

LENI GEBHARDT & COMPANY INC
 LEGAL PRACTITIONERS FOR THE PLAINTIFF
 UNIT 11, BRUMOU BUILDING, MARTIN NEIB AVENUE OKAHANDJIA

REPUBLIC OF NAMIBIA MINISTRY OF INDUSTRIALISATION AND TRADE, LIQUOR ACT, 1998

NOTICE OF APPLICATION TO A COMMITTEE IN TERMS OF THE LIQUOR ACT, 1998 (REGULATIONS 14, 26 & 33)

Notice is given that an application in terms of the Liquor Act, 1998, particulars of which appear below, will be made to the Regional Liquor Licensing Committee, Region: KHOMAS

1. Name and postal address of applicant, LAMEKE INDOGCO PO BOX 1522 WINDHOEK

2. Name of business or proposed business to which applicant relates: L.I. LODGE

3. Address/Location of premises to which application relates: ERF 104 DYVENHOF STREET, KATUTUA WINDHOEK

4. Nature and details of application: APPLICATION FOR AMENDMENT OF HOURS OF A SPECIAL LIQUOR LICENSE FROM: FRIDAY - SATURDAY 10H00 - 02H00 TO: FRIDAY - SATURDAY 10H00 - 04H00

5. Clerk of the court with whom WINDHOEK MAGISTRATE'S COURT

6. Date on which application will be Lodged: 30 APRIL 2025

7. Date of meeting of Committee at which application will be heard: 11 JUNE 2025

Any objection or written submission in terms of section 28 of the Act in relation to the applicant must be sent or delivered to the Secretary of the Committee to reach the Secretary not less than 21 days before the date of the meeting of the Committee at which the application will be heard

REPUBLIC OF NAMIBIA MINISTRY OF INDUSTRIALISATION AND TRADE, LIQUOR ACT, 1998

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Notice is given that an application in terms of the Liquor Act, 1998, particulars of which appear below, will be made to the Regional Liquor Licensing Committee, Region: KHOMAS

1. Name and postal address of applicant: MOSCOW LOUNGE PO BOX 1622 WINDHOEK

2. Name of business or proposed business to which applicant relates: MOSCOW LOUNGE

3. Address/Location of premises to which application relates: ERF 3256 HANDELA AVENUE, 21 NELSON MANDELA CENTRE

4. Nature and details of application: SPECIAL LIQUOR LICENSE

5. Clerk of the court with whom WINDHOEK MAGISTRATE'S COURT

6. Date on which application will be Lodged: 30 APRIL 2025

7. Date of meeting of Committee at which application will be heard: 11 JUNE 2025

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NOTICE OF LOST LAND TITLE NO. 254

Notice is hereby given that I, MEDILONGO SALDUM HAMBABI intend to apply for a certified copy of: CERTAIN Nauchas No. 254 MEASURING: 1Ha (Hectar) SITUATE: NAROCAS DATED: 01 February 2022

THE PROPERTY OR Medilongo Salomon Hambabi

All persons who object to the issue of such copy are hereby required to lodge their objections, in writing, with the Registrar within three (3) weeks from the last publication of this notice.

Dated at Windhoek on this 14th day of April 2025

SIGNATURE OF APPLICANT
 P O Box 31032
 Pionierspark, Windhoek
 Tel: 0812514354

REPUBLIC OF NAMIBIA MINISTRY OF INDUSTRIALISATION AND TRADE, LIQUOR ACT, 1998

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3. Address/Location of premises to which application relates: ERF 104 DYVENHOF STREET, KATUTUA WINDHOEK

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Give your business the best boost you can! Advertise in our weekly 'WOMEN' magazine. Be it any accessories or added for your vehicle.

Call us on 061-2080800 or fax us on 2020584. Put the WOMEN back into your business!

REPUBLIC OF NAMIBIA MINISTRY OF INDUSTRIALISATION AND TRADE, LIQUOR ACT, 1998

NOTICE OF APPLICATION TO A COMMITTEE IN TERMS OF THE LIQUOR ACT, 1998 (REGULATIONS 14, 26 & 33)

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GARI WANAHEDA MEDICAL PRACTICE

We are seeking the services of a Medical Practitioner at Gari-Wanaheda Medical. Interested candidate can submit a comprehensive CV to email: rcgariseb@iway.na



PO Box 10 Kavibwa
paseo@kavibwaweb.com
Applicant: John Otto
Slewart Planning
PO Box 2035 Walvis Bay
otso@ps.com.na

CLA025000899

NOTICE IN TERMS OF THE URBAN AND REGIONAL PLANNING ACT, 2018 (ACT NO.5 OF 2018).
Please take note that Slewart Planning - Town & Regional Planning intends to apply on behalf of registered owner, to the Municipal Council of Walvis Bay and the Urban and Regional Planning Board for permission for the following:

Subdivision of Erf 5355 Walvis Bay Extension 18 (58) (regional development) into two equal portions (Portion A and the Remainder). The 58a measures a 785m² in extent and is zoned Single Residential with a density of 1:200 in terms of the of the Walvis Bay Zoning Scheme. The site is currently vacant and the intention of the owner is to create two free-standing even plots with the proposed subdivision. The above-mentioned application is submitted in terms of the Urban and Regional Planning Act, 2018 (Act No.5 of 2018) and the Walvis Bay Zoning Scheme.

Please take note that - (a) the subdivision pre-application draft (sub-document) files open for inspection at Room 101 of the Roads and Building Control Department of the Municipality of Walvis Bay situated at Civic Centre, Walvis Bay or can be requested from man@ps.com.na; (b) Potential interested and affected parties are invited to register with Slewart Planning, and any person having comments or objections to the application, may wish to lodge such objections and comments, together with the grounds thereof, with the Chief Executive Officer of the Municipality of Walvis Bay with Slewart Planning within 14 days of the last publication of this notice; (c) Registration and written comments or objections must be submitted before or on Monday, 18 May 2025.

Applicant: Slewart Planning
Town & Regional Planning
PO Box 2035 Walvis Bay
man@ps.com.na
084 280 7733
Local Authority: Chief Executive Officer
Municipality of Walvis Bay
Private Bag 5017 Walvis Bay
lawrence@walvisbay.com.na
054 201 3338

CLA025000928

NOTICE TO CREDITORS IN DECEASED ESTATE All estate claims against the estate as specified below, are called upon to lodge their claims within a period of 30 days for otherwise as indicated from the date of publication hereof. Registered name: NIJUNGA Christian name: SAMSHAFISHUNA Identity number: 20512 0031 5 Last address: WINDHOEK, KHOMAS REGION Date of Death: 02 FEBRUARY 2025 Christian names and surname: NIJUNGA NIJUNGA THOMPSON IDENTITY NUMBER: 0018 018 Description of account other than First and Final N/A Period of suspension other than 21 days N/A Master's office: WINDHOEK Magistrate's office: WINDHOEK Name and (only one) address of executor or authorized agent: SISA NAMANDJE & CO, NO. 10, PASTERUR STREET, WINDHOEK-WEST, WINDHOEK Date of last publication: 17 APRIL 2025 849 notice for publication in the Government Gazette on 17 APRIL 2025

CLA025000975

CONSENT NOTICE:
Please note that URBAN GREEN TOWN AND REGIONAL PLANNING CONSULTANTS, on behalf of the Applicant, intends to apply to the Swakopmund Municipal Council for -

Consent of a "Permit" on Erf 406, Myl 4, Extension 1, Swakopmund as prescribed and provided for by the Swakopmund Zoning Scheme.
Erf 406 is situated within the Myl 4, Extension 1, Swakopmund Town area, located to the north-western side of the larger Swakopmund Town area. Erf 406, Myl 4 Ext 1, Swakopmund measures 4,203m² in extent and is currently zoned "Special Residential" with a density of 1:250. The application for consent is motivated by the intention to erect buildings on the site for residential (i.e. Pension) purposes. The objectives of the development are to create a self-sufficient residential offering luxurious villas and townhouses in Swakopmund, with a coastal, village-style look and feel, in accordance with the Swakopmund Zoning Scheme.
The site is currently vacant. Access to the Erf is obtained via East Street located to the northern side of the Erf. Parking will be provided in accordance with the requirements of the Swakopmund Zoning Scheme. The locality plan is available for inspection at



the Swakopmund Municipal Council, c/o Raxkotta, Daniel Karim Street, Swakopmund and the offices of Urban Green Town and Regional Planning Consultants, No. 40, Berg Street, Klein Windhoek. Any person objecting to the proposed consent set out above may lodge such objection, together with the grounds thereof, with the Swakopmund Municipal Council (Town Planning Services) and with the applicant in writing within 14 days after the appearance of the last notice (final date for objection is 06 May 2025).

Applicant: Urban Green Town and Regional Planning Consultants
PO Box 11929
Klein Windhoek
Contact details: 061 300 420
Email: info@urbangreenplanning.com.na
Swakopmund Municipal Council
J.T. Heits - Town Planner
Department of Engineering and Planning Services
Tel: 061 444 4003
Email: heits@swakopmund.com.na
CLA025000965

CONSENT FOR A "BUSINESS BUILDING UNDER THE OFFICE ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK DU TOIT TOWN PLANNING CONSULTANTS, are applying on behalf of the owner of the erf, Drogos Investment Close Corporation, to the City Council of Windhoek for the:

Consent for a "Business Building" under the "Office" zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek. The project is located in Teinert Street, which places it in the central area of the City, just south of the central business district. It is parallel to Mandume Ndemufaya Drive, but no access is taken from there. The erf is also closely located to the GAME centre on Erf 6882, Windhoek. The project is currently zoned as "office" with a bulk of 0.4 and currently accommodates the existing Namibia Car Rental Office. The owner was recently informed that although in operation for many years, the operation of the Namibia Car Rental on Erf 715, Windhoek is not in compliance with the office zoning of the erf. The erf is currently zoned for "office" with a bulk of 0.4. The Windhoek Zoning Scheme does not permit the operation of a car rental as a primary use on office zoned land, however, consent to operate a car rental on the erf is required for "office" use. The erf is currently zoned for "office" with a bulk of 0.4. The Windhoek Zoning Scheme does not permit the operation of a car rental as a primary use on office zoned land, however, consent to operate a car rental on the erf is required for "office" use.

Applicant: DU TOIT TOWN PLANNING CONSULTANTS
PO Box 2035 Walvis Bay
Windhoek Tel: 061 245010
Email: plan@dufoit.com.na
CLA025000953

CLA025000953

ENVIRONMENTAL ASSESSMENT (EIA) FOR THE PROPOSED EXPLORATION ACTIVITIES ON THE EXCLUSIVE PROSPECTING LICENCE (EPL) NO. 10138 LOCATED ABOUT 3.5 KM NORTH OF OTJOMBINGWE IN THE ERONGO REGION, NAMIBIA.
Under the Environmental Management Act No. 7 of 2007 and its 2012 EA Regulations, the proposed exploration activities on EPL 10138 require an Environmental Assessment (ECC) from the Department of Environmental Affairs and Forestry (DEAF) before commencement. The public is notified that an ECC application will be submitted to the Environmental Commissioner. Brief Project Description: The environmental scoping process will identify potential positive and negative impacts of the proposed activities on EPL 10138 located about 3.5 km North of the Otjombingwe settlement in the Erongo region. The target commodities on the EPL are Base & Rare Metals, Dimension Stone, Industrial Minerals, Precious Metals and Gemstones. Proposed: Namibia Trading Co. Environmental Consultant: Excel Dynamic Solutions (Pty) Ltd. Public members are invited to register as Interested and Affected Parties to communicate concerns or receive further information on the proposed activities. Public Consultation meeting details will be communicated with all the registered I&APs. Registration requests should be forwarded to Excel Dynamic Solutions (Pty) Ltd on the contact details below, before or on 11 April 2025. Contact: Excel Dynamic Solutions (Pty) Ltd on 061 259 5330

CLA025000955

ENVIRONMENTAL ASSESSMENT (EIA) FOR THE PROPOSED EXPLORATION ACTIVITIES ON THE EXCLUSIVE PROSPECTING LICENCE (EPL) NO. 10201A PORTION OF ERONGO REGION, NAMIBIA.
Under the Environmental Management Act No. 7 of 2007 and its 2012 EA Regulations, the proposed exploration activities on EPL 10201A require an Environmental Assessment (ECC) from the Department of Environmental Affairs and Forestry (DEAF) before commencement. The public is notified that an ECC application will be submitted to the Environmental Commissioner. Brief Project Description: The environmental scoping process will identify potential positive and negative impacts of the proposed activities on EPL 10201A located about 3.5 km North of the Otjombingwe settlement in the Erongo region. The target commodities on the EPL are Base & Rare Metals and Precious Metals. Proposed: Royco Copper Investment (Pty) Ltd. Environmental Consultant: Excel Dynamic Solutions (Pty) Ltd. Public members are invited to register as Interested and Affected Parties to communicate concerns or receive further information on the proposed activities. Public Consultation meeting details will be communicated with all the registered I&APs. Registration requests should be forwarded to Excel Dynamic Solutions (Pty) Ltd on the contact details below, before or on 11 April 2025. Contact: Excel Dynamic Solutions (Pty) Ltd on 061 259 5330

CLA025000955

ENVIRONMENTAL ASSESSMENT (EIA) FOR THE PROPOSED EXPLORATION ACTIVITIES ON THE EXCLUSIVE PROSPECTING LICENCE (EPL) NO. 10201A PORTION OF ERONGO REGION, NAMIBIA.
Under the Environmental Management Act No. 7 of 2007 and its 2012 EA Regulations, the proposed exploration activities on EPL 10201A require an Environmental Assessment (ECC) from the Department of Environmental Affairs and Forestry (DEAF) before commencement. The public is notified that an ECC application will be submitted to the Environmental Commissioner. Brief Project Description: The environmental scoping process will identify potential positive and negative impacts of the proposed activities on EPL 10201A located about 3.5 km North of the Otjombingwe settlement in the Erongo region. The target commodities on the EPL are Base & Rare Metals and Precious Metals. Proposed: Royco Copper Investment (Pty) Ltd. Environmental Consultant: Excel Dynamic Solutions (Pty) Ltd. Public members are invited to register as Interested and Affected Parties to communicate concerns or receive further information on the proposed activities. Public Consultation meeting details will be communicated with all the registered I&APs. Registration requests should be forwarded to Excel Dynamic Solutions (Pty) Ltd on the contact details below, before or on 11 April 2025. Contact: Excel Dynamic Solutions (Pty) Ltd on 061 259 5330



No. 10201A Portion of Erf No. 313, Doroedo Park, Extension No. 1, Windhoek. Contents: 3 X Bedrooms; 3 X Bathrooms; Kitchen; Lounge & Dining Room; Terrace; Laundry & Storage. The property is to be sold by the Deputy Sheriff of Windhoek, subject to the Conditions of Sale that may be imposed by the Deeds Office of the Deputy Sheriff, to the highest bidder of the auction subject to a reserve price, if any.

CLA025000958

NOTICE OF ENVIRONMENTAL SCOPING ASSESSMENT (ESA) FOR THE PROPOSED EXPLORATION ACTIVITIES ON THE EXCLUSIVE PROSPECTING LICENCE (EPL) NO. 10138 LOCATED ABOUT 3.5 KM NORTH OF OTJOMBINGWE IN THE ERONGO REGION, NAMIBIA.
Under the Environmental Management Act No. 7 of 2007 and its 2012 EA Regulations, the proposed exploration activities on EPL 10138 require an Environmental Assessment (ECC) from the Department of Environmental Affairs and Forestry (DEAF) before commencement. The public is notified that an ECC application will be submitted to the Environmental Commissioner. Brief Project Description: The environmental scoping process will identify potential positive and negative impacts of the proposed activities on EPL 10138 located about 3.5 km North of the Otjombingwe settlement in the Erongo region. The target commodities on the EPL are Base & Rare Metals, Dimension Stone, Industrial Minerals, Precious Metals and Semi-Precious Metals. Proposed: Namibia Trading Co. Environmental Consultant: Excel Dynamic Solutions (Pty) Ltd. Public members are invited to register as Interested and Affected Parties to communicate concerns or receive further information on the proposed activities. Public Consultation meeting details will be communicated with all the registered I&APs. Registration requests should be forwarded to Excel Dynamic Solutions (Pty) Ltd on the contact details below, before or on 11 April 2025. Contact: Excel Dynamic Solutions (Pty) Ltd on 061 259 5330

CLA025000924

FORM 3
Rule 13(1) SUBSTITUTED SERVICE AT THE HIGH COURT OF NAMIBIA (in the Local District) CASE NO: HC-MD-CIV-ACCT-2024/00348 in the matter between: URBAN VAN DER WESTHUIZEN (ORAN SCHOLZ) DEFENDANT and: JUAN VAN DER WESTHUIZEN, a major, with PL 22, BRAKWATER, WINDHOEK, RESPONDENT. WHEREAS the whereabouts are unknown, TAKE NOTICE that by summons issued out of this court, you have been called upon to give notice, within 10 days after the publication of this notice of the respondent and the plaintiff's legal practitioner of your intention to defend (if any) in an action wherein the Plaintiff prays for the following relief: (1) An order of substituted service, (2) An order of substituted service, (3) An order of substituted service, (4) An order of substituted service, (5) An order of substituted service, (6) An order of substituted service, (7) An order of substituted service, (8) An order of substituted service, (9) An order of substituted service, (10) An order of substituted service, (11) An order of substituted service, (12) An order of substituted service, (13) An order of substituted service, (14) An order of substituted service, (15) An order of substituted service, (16) An order of substituted service, (17) An order of substituted service, (18) An order of 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CLASSIFIEDS

(061) 208 0800/44

(061) 220 584

classifieds@nepc.com.na

Notice

Public Notice

NOTICE

Take notice that HARMONIC TOWN PLANNING CONSULTANTS CC, Town and Regional Planners, on behalf of the owner of the respective erf, intend to apply to the Outapi Town Council and the Urban and Regional Planning Board for the:

- Extension of Erf No. 3215, Razoning 15, Outapi to "Local Authority" to "Civic"; and
- Consent to commence with the proposed development with the rezoning in its progress.

Erf 3215, Extension 15 measures 4569 m² in extent and is zoned "Local Authority" as per Outapi Zoning Scheme. The owner wishes to rezone the erf from "Local Authority" to "Civic" to align the zoning designation with the existing use of the property, which currently accommodates operational electric substation. The client prefers rezoning the erf to "Civic" due to its size and intends to use the rest of the erf for a public institution.

Sufficient parking for the development will be provided in accordance with the requirements of the Outapi Zoning Scheme.

Further take notice that the plan of the erf for inspection on the town planning notice board at the Outapi Town Council, Erf 3215, 37th Main Road, Outapi and at Harmonic Town Planning Office, 76B Pasteur Street, Windhoek West.

Further take notice that any person objecting to the proposed use of the land as set out above may lodge such objection together with the grounds thereof, with the Applicant in writing within 14 days of the last publication of this notice (final date for objections is Tuesday, 13 May 2025).

Contact: Harold Kisting Harmonic Town Planning Consultants CC, Town and Regional Planners P.O. Box 3216 Windhoek Cell: 081 127 5879 Fax: 088 546 401 Email: hkisting@namibnet.com



NOTICE

Take notice that HARMONIC TOWN PLANNING CONSULTANTS CC, Town and Regional Planners, on behalf of the owner of the respective erf, intend to apply to the City of Windhoek for the:

- CONSENT FOR A GENERAL DEALER (SALE OF MOTOR VEHICLE PARTS AND ACCESSORIES) TO OPERATE ON "INDUSTRIAL" Erf No. 8199, NGUNI STREET, WINDHOEK, EXTENSION 6

Erf No. 8199, Nguni Street, Windhoek measures approximately 13930 m² in extent and is zoned "Industrial" with a bulk of 1:3 as per the Windhoek Zoning Scheme. The owner intends to operate a General Dealer "Sale of Motor Vehicle Parts and Accessories" on the erf. Sufficient parking for the development is provided in accordance with the requirements of the Windhoek Zoning Scheme.

Further take notice that the plan of the erf for inspection on the town planning notice board at the City of Windhoek and at Harmonic Town Planning Office, 76B Pasteur Street, Windhoek West.

Further take notice that any person objecting to the proposed use of the land as set out above may lodge such objection together with the grounds thereof, with the Applicant in writing within 14 days of the last publication of this notice (final date for objections is Tuesday, 13 May 2025).

Contact: Harold Kisting Harmonic Town Planning Consultants CC, Town and Regional Planners P.O. Box 3216 Windhoek Cell: 081 127 5879 Fax: 088 546 401 Email: hkisting@namibnet.com



NOTICE FOR THE ENVIRONMENTAL IMPACT ASSESSMENT

Notices hereby placed to inform all potentially interested and Affected Parties (I & APs) that an application for Environmental Clearance Certificate will be made to the Ministry of Environment, Forestry and Tourism, in line with the provisions of Environmental Management Act 7 of 2007 and its Regulations of 2012.

Proponent: Ontso Mining Close Corporation

Project Description: The Project involves conducting an EIA for the establishment of exploration activities of base and rare metals, dimension stone, industrial minerals and precious metals on Exclusive Prospecting License (EPL) No. 8032.

Project Location: The EPL No. 10228 is located south of the Warmbad settlement and covers farm land.

All Interested and Affected Parties (I & APs) are invited to register, request background information document and submit inputs on or before 30 April 2025. A public consultation date will be communicated to all stakeholders at a later stage.

For any inquiries please contact: Consultant: SS Consultants CC Ms. Usanao Katjinjia Tel: +264814779623 / +264 81 240 9124 Email: UKatjinjia@ssconsultants.co



NOTICE FOR THE ENVIRONMENTAL IMPACT ASSESSMENT

Notices hereby placed to inform all potentially interested and Affected Parties (I & APs) that an application for Environmental Clearance Certificate will be made to the Ministry of Environment, Forestry and Tourism, in line with the provisions of Environmental Management Act 7 of 2007 and its Regulations of 2012.

Proponent: Mr. Valenty S.N. Angula

Project Description: The Project involves conducting an EIA for the establishment of exploration activities of base and rare metals, dimension stone, industrial minerals and precious metals on Exclusive Prospecting License (EPL) No. 10230.

Project Location: EPL 10230 is located between Outjo and Fransfontein about 70 km south west and south east of the town, in Kunene Region. Access is gained via the C39, D2351 then D2143 alternatively D 2417 or D 2403.

All Interested and Affected Parties (I & APs) are invited to register, request background information document and submit inputs on or before 30 April 2025. A public consultation date will be communicated to all stakeholders at a later stage.

For any inquiries please contact: Consultant: SS Consultants CC Ms. Usanao Katjinjia Tel: +264814779623 / +264 81 240 9124 Email: UKatjinjia@ssconsultants.co



NOTICE FOR THE ENVIRONMENTAL IMPACT ASSESSMENT

Notices hereby placed to inform all potentially interested and Affected Parties (I & APs) that an application for Environmental Clearance Certificate will be made to the Ministry of Environment, Forestry and Tourism, in line with the provisions of Environmental Management Act 7 of 2007 and its Regulations of 2012.

Proponent: Miss Lisa Neshipanda Ndilimondwe

Project Description: The Project involves conducting an EIA for the establishment of exploration activities of precious stones, base and semi-precious stones, base and rare metals, dimension stone, industrial minerals, nuclear fuels and precious metals on Exclusive Prospecting License (EPL) No. 10225 & 10258.

Project Location: Both EPLs lie in Erongo region, with EPL 10225 being located near Ombobaha and EPL 10258 located near Usakos. Access is via the D2306 and D2315 gravel road as well as farm roads.

All Interested and Affected Parties (I & APs) are invited to register, request background information document and submit inputs on or before 30 April 2025. A public consultation date will be communicated to all stakeholders at a later stage.

For any inquiries please contact: Consultant: SS Consultants CC Ms. Usanao Katjinjia Tel: +264814779623 / +264 81 240 9124 Email: UKatjinjia@ssconsultants.co



NOTICE FOR THE ENVIRONMENTAL IMPACT ASSESSMENT

Notices hereby placed to inform all potentially interested and Affected Parties (I & APs) that an application for Environmental Clearance Certificate will be made to the Ministry of Environment, Forestry and Tourism, in line with the provisions of Environmental Management Act 7 of 2007 and its Regulations of 2012.

Proponent: Miss Litsa Neshipanda Ndilimondwe

Project Description: The Project involves conducting an EIA for the establishment of exploration activities of base and rare metals, dimension stone, industrial minerals, nuclear fuels and precious metals on Exclusive Prospecting License (EPL) No. 10228.

Project Location: The EPL No. 10228 is located north of Henties Bay town within a circa 75 Km and west of Brandberg Mountain about 31 km.

All Interested and Affected Parties (I & APs) are invited to register, request background information document and submit inputs on or before 30 April 2025. A public consultation date will be communicated to all stakeholders at a later stage.

For any inquiries please contact: Consultant: SS Consultants CC Ms. Usanao Katjinjia Tel: +264814779623 / +264 81 240 9124 Email: UKatjinjia@ssconsultants.co



NOTICE FOR THE ENVIRONMENTAL IMPACT ASSESSMENT

Notices hereby placed to inform all potentially interested and Affected Parties (I & APs) that an application for Environmental Clearance Certificate will be made to the Ministry of Environment, Forestry and Tourism, in line with the provisions of Environmental Management Act 7 of 2007 and its Regulations of 2012.

Proponent: SS Mining CC

Project Description: The project involves conducting an EIA for the establishment of mining activities of dimension stones on Mining License (ML) application formerly (Mining Claim No. 71544), at Farm Okavango No. 46, Karibib District, Erongo Region. The proponent intends to mine dimension stones on the proposed ML application.

Project Location: Farm Okavango No. 46, located about 9 km north of Karibib and 3 km east of the C33 road from Karibib to Omaruru.

All Interested and Affected Parties (I & APs) are invited to register, request background information document and submit inputs on or before 30 April 2025. A public consultation date will be communicated to all stakeholders at a later stage.

For any inquiries please contact: Consultant: SS Consultants CC Ms. Usanao Katjinjia Tel: +264814779623 / +264 81 240 9124 Email: UKatjinjia@ssconsultants.co



PUBLIC NOTICE ENVIRONMENTAL IMPACT ASSESSMENT FOR THE PROPOSED FISH FARMING PROJECT DEVELOPMENT AT MACHILA COMMUNAL AREA IN ZAMBEZI REGION

Notice is hereby given to all interested and Affected Parties (I & APs) that an application will be made to the Environmental Commissioner in terms of Environmental Management Act (No. 7 of 2007) and its Regulation (2012) for the following intended activity:

Project Name: Commercial Fish Farming

Project Location: Machila Communal Area, Zambezi region

Proponent: BOOPHALOW INVESTMENT CC

Project Description: The proposed project entails the proposed construction and establishment of an aqua-culture Commercial Fish Farming project in Machila Communal Area on a 10,2 Hectare.

Consultant: NYEPEZ Consultancy cc

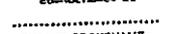
All Interested and Affected Parties (I & APs) are encouraged to register and raise concerns or provide comments and opinions on or before 30 May 2025. Background Information Document (BID) document will be provided upon indication as an I&AP. A public meeting will be held only if there is sufficient public interest.

Public Consultation meeting date: 27 May 2025

Venue: Machila area (Sub-kharta) @ 10h00-12h00

Should you wish to register as I & AP, please contact the NYEPEZ CC CONSULTANT.

Cell: +264814554221 / +264812317252 Email: nyepetz@nyepetz.co.na



CHANGE OF SURNAME - THE ALIENS ACT 1937

NOTICE OF INTENTION OF CHANGE OF SURNAME
I, (1) ANWAAMA SALOM residing at WINDHOEK - WANAMEDA, ZAMBEZI STREET, ERPI 722 and carrying on business / employed as (2) WA, intend applying to the Minister of Home Affairs for authority under section 9 of the Aliens Act, 1937, to assume HAMWAAMA for the reasons that (3) I WANT TO CHANGE MY SURNAME FROM ANWAAMA TO HAMWAAMA, I previously bore the name(s) (4) ANWAAMA. I intend also applying for authority to change the surname of my wife N/A and minor children (5) N/A. A person who objects to my/our assumption of the said surname of SALOM HAMWAAMA should as soon as may be lodge his/her objection, in writing, with a statement of his/her reasons therefore, with the magistrate of WINDHOEK MAGISTRATE COURT, OLAPRIT, 2025.

CHANGE OF SURNAME - THE ALIENS ACT 1937

NOTICE OF INTENTION OF CHANGE OF SURNAME
I, (1) IMMANUEL SHWOWANHU SHALEM residing at ERP 794, OUPUNGA STREET, HAKANAMA, ERPI, 23-25, Maroela Mall, Ongwediva Tel: 0811277773 Advertiser and Address: Maria Amupolo estates@namweb.com Date: 17 April 2025 Tel: 0811277773 Maria Amupolo Notice of publication in the Government Gazette 17 April 2025

CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE ZONING FOR THE OPERATION OF A CAR RENTAL ON ERP 215, NO. 4 TEINERT STREET, WINDHOEK DISTRICT TOWN PLANNING CONSULTANTS, are applying on behalf of the owners of the Er. Drongos Investment Close Corporation, to the City Council of Windhoek for the:

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 215, Teinert Street, Windhoek

The project erf is located in Teinert Street, which places it in the central area of the city, just south of the central business district, in a parallel to Manduvu Street, off a parallel to Manduvu Street, but no access is taken from there. The erf is also closely located to the GAME centre on Erf 6004 Windhoek. The erf is 1653m² in extent. The project erf is currently zoned for 'office' with a bulk of 0:4 and currently accommodates the existing Namibia Car Rental Offices.

The owner was recently informed by the City of Windhoek that although in operation for many years, the operation of the Namibia Car Rental on Erf 215, Windhoek is not in compliance with the office zoning of the erf. The erf is currently zoned for 'office' with a bulk of 0:4 and currently accommodates the existing Namibia Car Rental Offices. The owner wishes to apply for a change of zoning to 'office' on the office zoned erf, however, consent to operate a car rental on the office zoned erf can be obtained from the City of Windhoek under the definition of a 'business building'. It is in this and that application for consent is made.

Based on the office floor area of approximately 1415m², six (6) parking bays are required. However, the erf currently provides ten (10) parking bays, which ample space available to accommodate additional parking if needed.

The locally plan of the site lies for inspection on the Town Planning Notice Board in the Customer Care Centre, Municipal Offices, Rev. Michael Scott Street, Windhoek and at the offices of Du Toit Town Planning, Dr. Keenan Nkurumah Avenue, Klein Windhoek.

Any person objecting to the proposed use of land as set out above may lodge such objection together with the grounds thereof with the City Council of Windhoek (the Urban Planner/Town Planner, Fifth Floor, Room 516) and the applicant within 14 days of the last publication of this notice (final date for objections is 14th of May 2025). Should you require additional information you are welcome to contact our office.

Applicant: DU TOIT TOWN PLANNING CONSULTANTS P.O. Box 6871 AUESSPANPLATZ WINDHOEK, TEL: 061-248010 Email: info@du-toit.co.na



CASE NO: HC-14-CIV-ACT-CON-2024/0045

IN THE HIGH COURT OF NAMIBIA MAIN DIVISION - Windhoek

In the matter between: ISAI KASHAKUMWA PLAINTIFF

AND NESTOR JASON GHIDDIHOKOJA SIBION DEFENDANT

NOTICE OF SALE IN EXECUTION
Pursuant to a Judgement granted by the above Honourable Court, the following goods will be sold in execution by public auction on FRIDAY, 02 MAY 2025 at 14:00 of AGRA AUCTION PENS/KRALE, GROOTFONTAIN, REPUBLIC OF NAMIBIA, namely:

- 1x Samsung Microwave
- 1x Lounge Suite
- 1x 16C Deep Freezer
- 1x TV
- 1x TV Unit
- 2x Double Beds
- 1x Washing Machine

TERMS: CASH to the highest bidder. Dated at TSWANE 15th day of April 2025.

Dr Plessis-Sowden & Steyn Associates Inc. Erf 515, Corner of Sam Nujoma and Ndilimani Cultural Troupe Streets, Tsumeb Tel: 067 227 694 Fax: 067 227 697 (SAND/142)

PUBLIC NOTICE ENVIRONMENTAL IMPACT ASSESSMENT FOR THE PROPOSED WASTE WATER TREATMENT PLANT UPGRADE, KATIMA MULLO, ZAMBEZI REGION

Notices hereby given to all interested and Affected Parties (I & APs) that an application will be made to the Environmental Commissioner in terms of Environmental Management Act (No. 7 of 2007) and its Regulations (2012) for the following intended activity:

Project Name: Proposed Waste Water Treatment Plant Upgrade

Project Location: Portion 197 of Farm KM No.1328, Katima Mullo, Zambezi Region

Project Description: Development of a waste water treatment plant to replace the existing oxidation ponds.

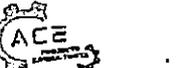
Proponent: Katima Mullo Town Council

Environmental Consultants: Ace Projects Consultants
Ace Projects Consultants has been appointed by the proponent to conduct an Environmental Impact Assessment and Environmental Management Plan for the proposed development.

All interested and affected parties (I&APs) are encouraged to register and raise concerns or provide comments and opinions. All I&APs will be provided with a Background Information Document (BID) comprising detailed information for the development activity. A public meeting/open day session will be held in Ngwese Community Hall, on 25 April 2025, @ 11:00 am.

Should you wish to register as an I&AP and receive a BID, please contact the Ace Projects Consultants office. Tel: (+264) 81322288. E-Mail: info@aceprojects.co.na

DEADLINE FOR COMMENTS IS 06 APRIL 2025



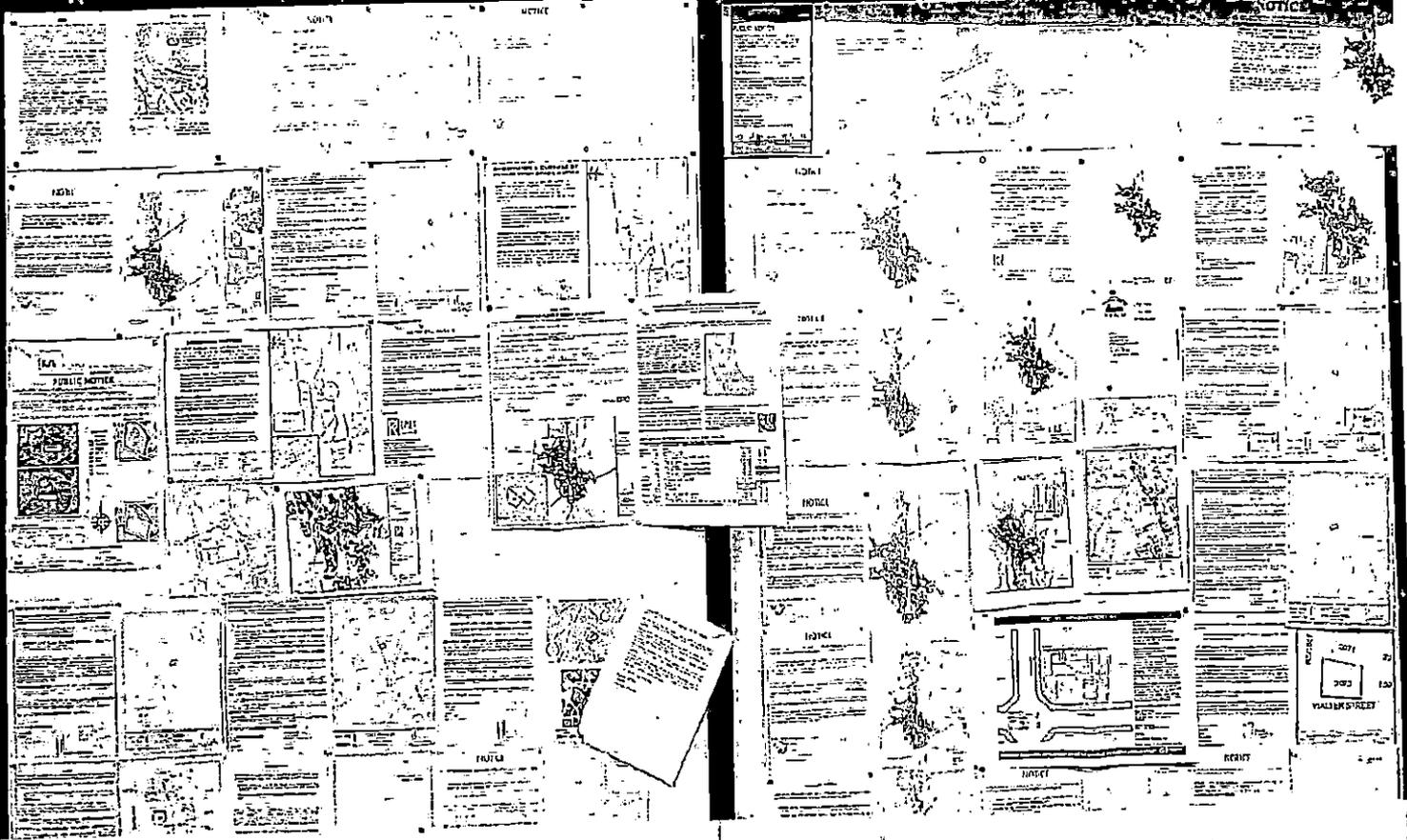
SPCA 5025

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TOWN PLANNING ZONING MAPS

181



NOTICE

CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK

DU TOIT TOWN PLANNING CONSULTANTS, are applying on behalf of the owners of the erf, Drangos Investment Close Corporation, to the City Council of Windhoek for the:

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

The project erf is located in Teinert Street, which places it in the central area of the city, just south of the central business district. It is parallel to Mandume Ndemufayo Drive, but no access is taken from there. The erf is also closely located to the GAME centre on Erf 6880, Windhoek. The erf is 1659m² in extent. The project erf is currently zoned as 'office' with a bulk of 0.4 and currently accommodates the existing Namibia Car Rental Offices.

The owner was recently informed by the City of Windhoek that although in operation for many years, the operation of the Namibia Car Rental on Erf 715, Windhoek is not in compliance with the office zoning of the erf. The erf is currently zoned for 'office' with a bulk of 0.4. The Windhoek Zoning Scheme does not permit the operation of a car rental as a primary use on office zoned erven, however, consent to operate a car rental on the office zoned erf can be obtained from the City of Windhoek under the definition of a 'business building'. It is to this end that application for consent is made.

Based on the office floor area of approximately 141.5 m², six (6) parking bays are required. However, the site currently provides ten (10) parking bays, with ample space available to accommodate additional parking if needed.

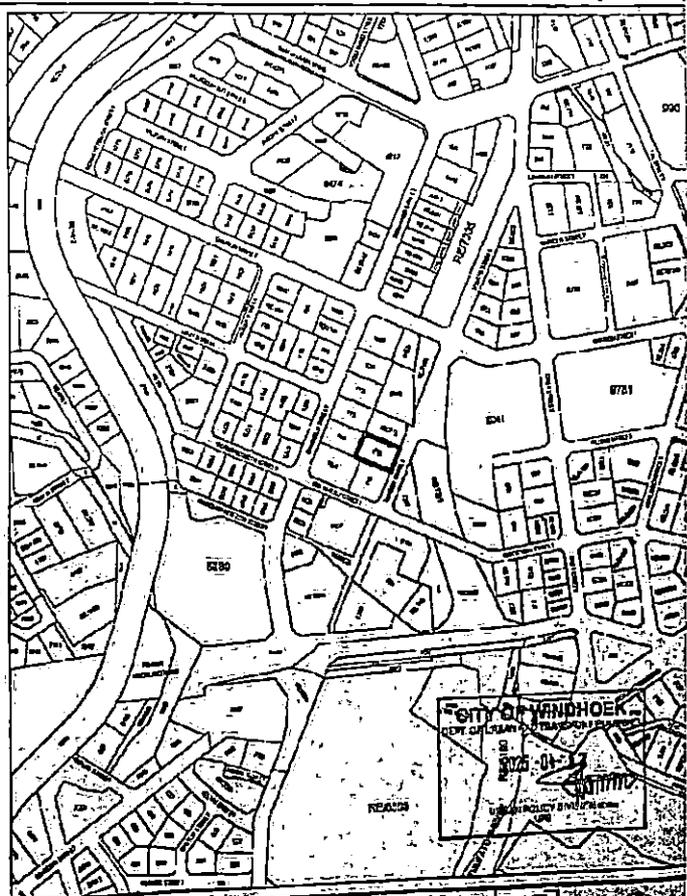
The locality plan of the site lies for inspection on the Town Planning Notice Board in the Customer Care Centre, Municipal Offices, Rev. Michael Scott Street, Windhoek and at the offices of Du Toit Town Planning, 4 Dr Kwame Nkrumah Avenue, Klein Windhoek.

Any person objecting to the proposed use of land as set out above may lodge such objection together with the grounds thereof with the City Council (the Urban Planner-Town House, Fifth Floor, Room 516) and the applicant within 14 days of the last publication of this notice (final date for objections is 14th of May 2023).

Should you require additional information you are welcome to contact our office.

Applicant:
DU TOIT TOWN PLANNING CONSULTANTS
P.O. Box 6871
ALUSSPANPLATZ
WINDHOEK
Tel: 061-248010
Email: planner2@dutoitplan.com

City of Windhoek
The Urban Planner
(Town House, 5th Floor, Room 516)
City of Windhoek
P.O. Box 459
WINDHOEK.



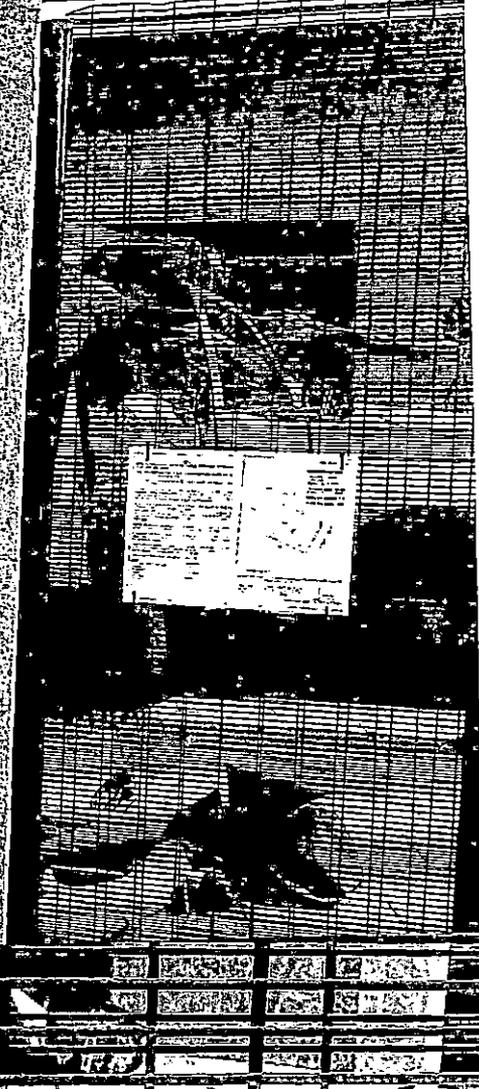
Scale: 1/5000
DATE: MARCH 2023
PLANNED 1/15/2023

LOCALITY PLAN OF ERF 715
TEINERT STREET
WINDHOEK



Nº 4 | TEINERT STREET

YOUR NEXT ADVENTURE STARTS HERE



NOTICE

CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK

DU TOIT TOWN PLANNING CONSULTANTS, are applying on behalf of the owners of the erf, Drongos Investment Close Corporation, to the City Council of Windhoek for the:

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

The project erf is located in Teinert Street, which places it in the central area of the city, just south of the central business district. It is parallel to Mandume Ndemufuro Drive, but no access is taken from there. The erf is also closely located to the GAME centre on Erf 8880, Windhoek. The erf is 2639m² in extent. The project erf is currently zoned as 'office' with a bulk of 0.4 and currently accommodates the existing Namibia Car Rental Offices.

The owner was recently informed by the City of Windhoek that although in operation for many years, the operation of the Namibia Car Rental on Erf 715, Windhoek is not in compliance with the office zoning of the erf. The erf is currently zoned for 'office' with a bulk of 0.4. The Windhoek Zoning Scheme does not permit the operation of a car rental as a primary use on office zoned erf, however, consent to operate a car rental on the office zoned erf can be obtained from the City of Windhoek under the definition of a 'business building'. It is to this end that application for consent is made.

Based on the office floor area of approximately 141.6 m², six (6) parking bays are required. However, the site currently provides ten (10) parking bays, with ample space available to accommodate additional parking if needed.

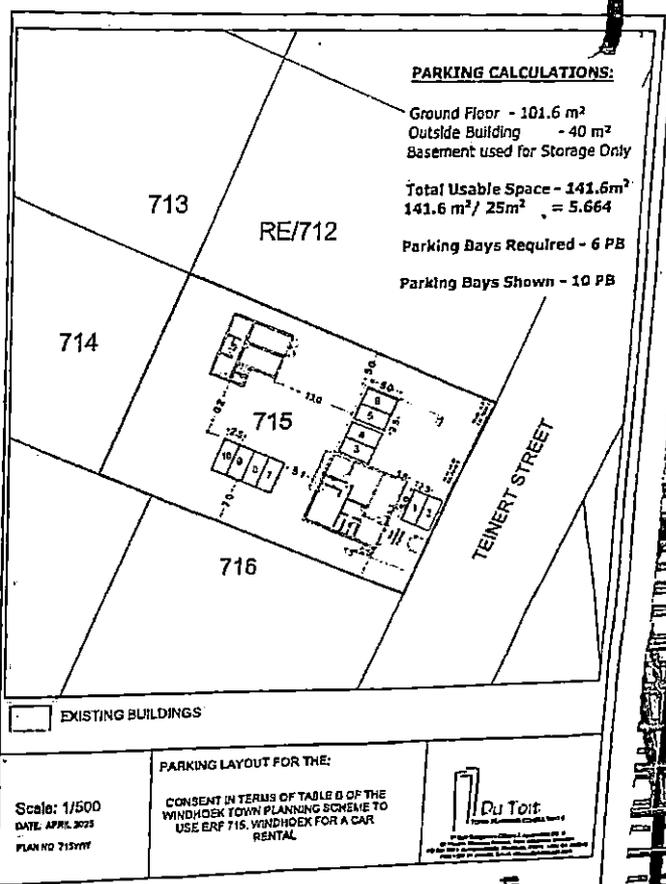
The locality plan of the site lies for inspection on the Town Planning Notice Board in the Customer Care Centre, Municipal Offices, Rev. Michael Scott Street, Windhoek and at the offices of Du Toit Town Planning, 4 Dr. Kwame Nkrumah Avenue, Kiela Windhoek.

Any person objecting to the proposed use of land as set out above may lodge such objection together with the grounds thereof with the City Council (the Urban Planner-Town House, 5th Floor, Room 516) and the applicant within 14 days of the last publication of this notice (final date for objections is 14th of May 2025).

Should you require additional information you are welcome to contact our office.

Applicant:
DU TOIT TOWN PLANNING CONSULTANTS
 P O Box 6971
 AUSSPANPLATZ
 WINDHOEK
 Tel: 065-248010
 Email: info@du-toit.com

City of Windhoek:
 The Urban Planner
 (Town House, 5th Floor, Room 516)
 City of Windhoek
 P.O. Box 59
 WINDHOEK



CONSENT FOR A 'BUSINESS BUILDING' UNDER 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK

Name: The Mandume Body Corporate (Mandume Park Building)

Address: 1 Teinert Street, Windhoek

Telephone: 0811289900 / 0811276303 Email: gwnamibia@gmail.com

We I, the owner of Erf: 7232 (new erf 8834 Windhoek) Teinert Street, Windhoek

(Please indicated with "X" in appropriate box)

Do not object [] Do Object [X]

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

If objecting, please state the reasons:

The rental cars are taking up most of the public parking in the street, as well as parking on the pavement. There are regular instances where they park on our private parking, as well as parking behind us, so that we can't get out. We feel strongly that they should move to an area of light industry, where all the vehicles can be accommodated. For example Southern Industrial area.

Please also state the date of occupation when Namibia Car Rental has taken up its operation in Teinert Street.

See attached pictures of parking issues.

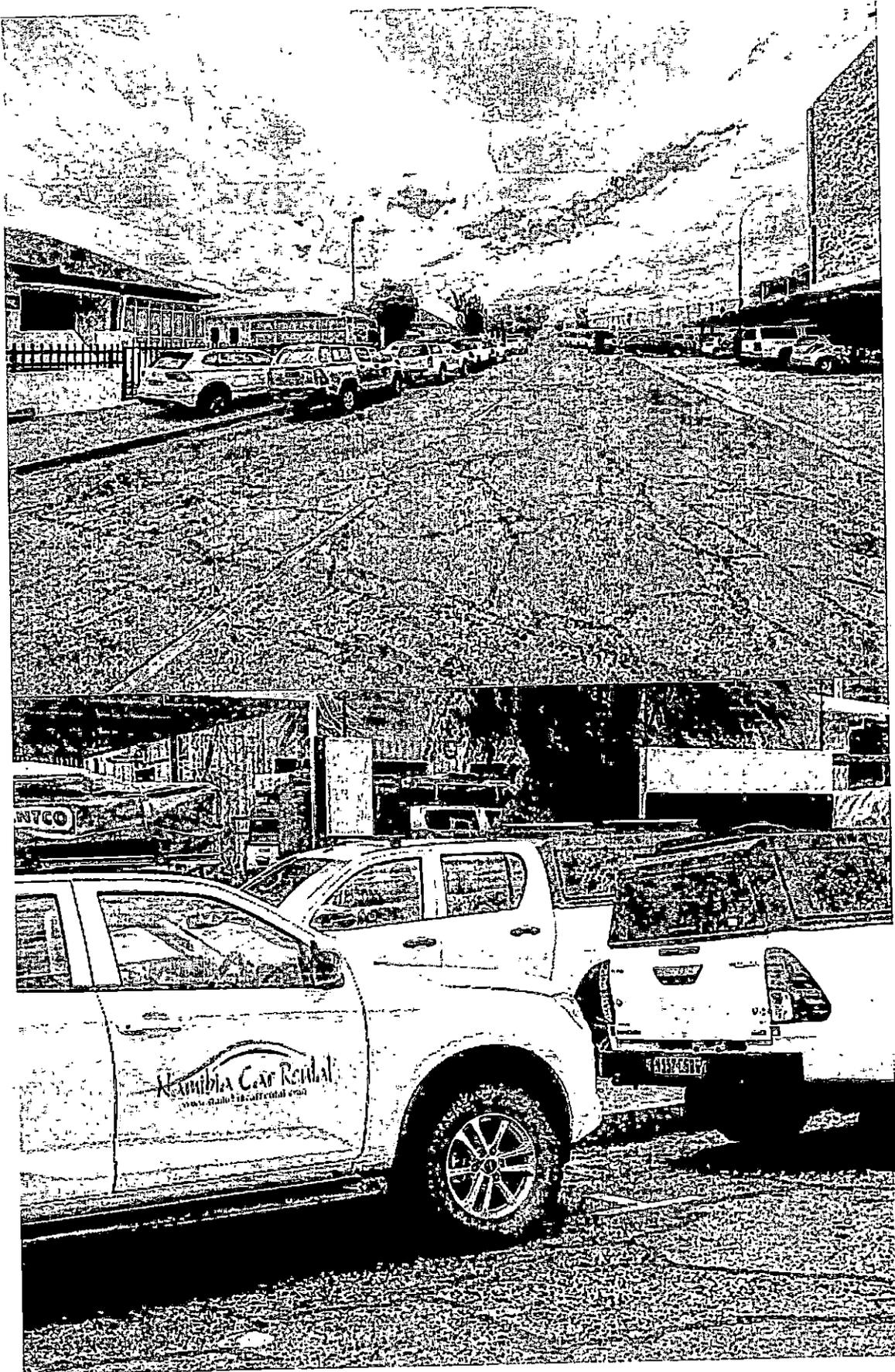
This Objection consist of 3 pages.

Signature for Trustees and members

Date 24/04/2025

Kindly take note that comments should reach our office by 14 May 2025 You can return the form to the following email address: planner2@dutoitplan.com

Consent for a 'Business Building' 184 on the 'Office' zoning for the operation of a car rental on Erasmus Teinert Street, Windhoek



Consent for a 'Business Building' 185' or the 'Office' zoning for the operation of a car rental on E Teinert Street, Windhoek



CONSENT FOR A 'BUSINESS BUILDING' UNDER THE 'OFFICE' ZONING FOR THE OPERATION OF A CAR RENTAL ON ERF 715, NO. 4 TEINERT STREET, WINDHOEK

Name: P GERSTAE

Address: BOX 1954 WIND

Telephone: 0812406784 Email: PATTY.GERSTAE@GMAIL.COM

I, the owner of Erf. 716, C/O Teinert and Dr W Kulz Street, Windhoek

(Please indicated with "x" in appropriate box)

Do not object

Do Object

- Consent for a 'Business Building' under the 'Office' zoning for the operation of a car rental on Erf 715, Teinert Street, Windhoek

If objecting, please state the reasons:

There is not enough parking in the street for my own tenants and I also object to people then parking on my pavement. The interlock pavement was done at our own expense and is being damaged

Pattye Gerstae
Signature

23/4/2025
Date

Kindly take note that comments should reach our office by 14 May 2025
You can return the form to the following email address: planner2@dutoitplan.com

Dorette Opperman

From: Dorette Opperman <planner1@dutoitplan.com>
Sent: Thursday, June 5, 2025 11:49 AM
To: 'patty.gerstle@gmail.com'
Cc: 'Howard'
Subject: RE: Response to Parking Concerns – Teinert Street
Attachments: Erf 716W_New form.pdf

Dear Mrs Gerstle,

Howard informed me that their response addressed your concerns sufficiently and that you will revise your objection.

Kindly complete the attached form and email it back to me.

Please do not hesitate to contact me if you require any further information.

Kind Regards
 Dorette



Du Toit
 TOWN PLANNING CONSULTANTS
 1st floor Bridgeview Offices & Apartments No. 4
 Dr Kwame Nkrumah Avenue, Klein Windhoek, Namibia
 PO Box 6871, Ausspannplatz, Windhoek, Phone: +264 61 248010
 Fax: +264 61 248608, Email: planner1@dutoitplan.com

Dorette Opperman
 Mobile: +264 81 835 2021

<https://w3w.co/material.wicket.inhaler>

Phoned 20/06/2025
 * Received email - still unsure about all
 → explained Howard's response again
 → wants to remain neutral but not revising her objection

From: Howard <hs@namibiacarrental.com>
Sent: Thursday, May 15, 2025 12:30 PM
To: patty.gerstle@gmail.com
Cc: Dorette Opperman <planner1@dutoitplan.com>; Owen Sivertsen <owen@solar-saver.net>
Subject: Response to Parking Concerns – Teinert Street

Dear Mrs. Gerstle,

We acknowledge and appreciate your concerns regarding parking on Teinert Street in relation to our town planning consent use application to operate a car rental agency from our property. It is evident that parking challenges affect multiple properties in the street, including yours. As noted in your objection, both Mandume Office Park and Erf 716 face a shortage of parking for tenants and employees. When Erf 715 was unoccupied, adjacent property tenants benefited from unrestricted parking in front of our premises. However, as we now actively use our property, the existing parking constraints in the street have become more apparent.

Our car rental business primarily serves tourists, which results in seasonal fluctuations in vehicle availability. At times, we experience difficulty accommodating rental vehicles not currently in use, as reflected in the

photographs included in the Mandume Office Park of 188 .. As a relatively new establishment in this location, we are still navigating growth and operational adjust Despite these challenges, we believe that our presence has positively contributed to the overall appearance and value of Teinert Street.

Understanding the importance of maintaining parking availability for visitors, we prioritize keeping our rental fleet securely parked on our premises. To manage parking congestion during slower rental periods, we have implemented the following solutions:

1. **Off-Site Parking:** We have contracted parking space at a facility in Prosperita, ensuring that excess fleet vehicles are accommodated off-site. This measure is already in effect, contributing to a clearer and less crowded street frontage.
2. **Parking Deck Expansion:** We have engaged an architect to explore extending our parking deck. Conceptual plans have been drafted, and once finalized, we will submit them for planning approval.

We trust this response provides clarity regarding our approach to addressing parking concerns in Teinert Street. We remain open to working collaboratively with our neighbours toward a sustainable resolution for all affected properties. We hope this reassures you and encourages the withdrawal of your objections to our application.

Kind regards,

Howard Sivertsen

Namibia Car Rental / Drongos Investment CC

+264 (0)82 4099239 office

Dorette Opperman

From: Howard <hs@namibiacarrental.com>
Sent: Wednesday, July 23, 2025 9:17 AM
To: Owen Sivertsen; Reinhard Haenisch
Cc: Dorette Opperman
Subject: RE: EXTERNAL - Re: EXTERNAL - Response to Parking Concerns – Teinert Street

Dear Reinhard, dear Owen

With some disappointment we take note of your email and the contents thereof.

We understand the reasons for your concerns and know the history when Air-Namibia was still operational. We also acknowledge that we abused our neighbours parking in the period after we moved into our new premises. We can assure you that this will not be repeated and that we have secured remote (off-site) parking for our fleet during slow periods. We also have plans to extend our deck to double up on parking on our own premisses.

We have also instructed our town planner to proceed with our application and to involve the City Transport Inspector to conduct a site visit to evaluate whether our activities contravene any by-laws and or zoning requirements. We note and have recorded that all recent, current parking contraventions are not caused by our vehicles but rather by tenants in the neighbouring properties. I also doubt whether these properties comply with the City's parking requirements.

We clearly want to promote good neighbourliness, and it is a pity that we could not resolve this amongst ourselves.

Kind regards
 Howard Sivertsen
 NAMIBIA CAR RENTAL
 +264 (0)82 4099239 office



From: Owen Sivertsen <owen@solar-saver.net>
Sent: Wednesday, 23 July 2025 7:43 am
To: Reinhard Haenisch <reinhard@acorn.na>; Howard <hs@namibiacarrental.com>
Subject: Re: EXTERNAL - Re: EXTERNAL - Response to Parking Concerns – Teinert Street

Noted Reinhard.

@Howard I am afraid knowing someone for 35 years means nothing anymore.

Regards

Owen

From: Reinhard Haenisch <reinhard@acorn.na>
Sent: Wednesday, July 23, 2025 5:26:44 AM
To: Owen Sivertsen <owen@solar-saver.net>
Subject: EXTERNAL - Re: EXTERNAL - Response to Parking Concerns – Teinert Street

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Owen,

Apologies for only reverting now.

As discussed, I have taken the meeting request to the trustees.

The decision made, based on the reasons stated below and mentioned telephonically, remains.

The trustees therefore feel that no meeting is required in this regard.

Thanks and Kind Regards

Reinhard Haenisch

t: +264 61 429 300

c: +264 81 128 9900

e: reinhard@acorn.na

From: Reinhard Haenisch
Sent: Thursday, June 19, 2025 6:12:21 AM
To: Owen Sivertsen <owen@solar-saver.net>
Subject: FW: EXTERNAL - Response to Parking Concerns – Teinert Street

Hi Owen,

Hope all is good.

The above refers:

The trustees of the Mandume Park Building have discussed this in detail and have opted not to withdraw their objection of Namibia Car Hire's rezoning application, to the City of Windhoek.

This decision is based on the following main factors:

1. Since day one when Mandume Park opened, before Namibia Car Rental moved to Teinert Street, Parking and movement (for owners/tenant/clients in the street) was already a challenge, due to limited space in the short street and it still is today
2. It will be a matter of time that the Government Building (ex Air Namibia) will be occupied again and lead to even higher traffic congestion.
3. The nature of a Car Rental business, Like Namibia Car Hire, requires a more accessible property in a light industrial area and not office area.

Thanks and Kind Regards

Reinhard Haenisch

t: +264 61 429 300

c: +264 81 128 9900
e: reinhard@acorn.na

191

From: Owen Sivertsen <owen@solar-saver.net>
Sent: Monday, June 9, 2025 10:05 AM
To: Reinhard Haenisch <reinhard@acorn.na>
Subject: FW: EXTERNAL - Response to Parking Concerns – Teinert Street

Hi Reini,

Thanks for taking my call, as discussed please have a look at this and let's meet on site to discuss.

We acknowledge and appreciate your concerns regarding parking on Teinert Street in relation to our town planning consent use application to operate a car rental agency from our property. It is evident that parking challenges affect multiple properties in the street, including yours. As noted in your objection, both Mandume Office Park and Erf 716 face a shortage of parking for tenants and employees. When Erf 715 was unoccupied, adjacent property tenants benefited from unrestricted parking in front of our premises. However, as we now actively use our property, the existing parking constraints in the street have become more apparent.

Our car rental business primarily serves tourists, which results in seasonal fluctuations in vehicle availability. At times, we experience difficulty accommodating rental vehicles not currently in use, as reflected in the photographs included in the Mandume Office Park objection. As a relatively new establishment in this location, we are still navigating growth and operational adjustments. Despite these challenges, we believe that our presence has positively contributed to the overall appearance and value of Teinert Street.

Understanding the importance of maintaining parking availability for visitors, we prioritize keeping our rental fleet securely parked on our premises. To manage parking congestion during slower rental periods, we have implemented the following solutions:

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We trust this response provides clarity regarding our approach to addressing parking concerns in Teinert Street. We remain open to working collaboratively with our neighbours toward a sustainable resolution for all affected properties. We hope this reassures you and encourages the withdrawal of your objections to our application.

Kind regards,

Owen Sivertsen

Namibia Car Rental / Drongos Investment CC

+264 (0)82 4099239 office